

Theme 4: Spaces for people

A high quality public realm and sense of place will be created in Cremorne through its safe, green, pedestrian friendly streets and its integrated network of public spaces.

Challenges and opportunities

Cremorne's high density environment means that the quality of its places and spaces are critical. Consultation from the CPIP process highlighted the community's desire for a greener Cremorne. Consultation also recognised more open space is required to cater for the needs of the growing community however space is limited and opportunities for small and creative improvements to the public realm and open space must be maximised.

To enhance Cremorne's sense of place, economic success and liveability, Cremorne must have well designed places and spaces. This includes Cremorne's streets, lanes and public spaces.



Image 26 - Church Street Reserve

Exploring opportunities for public spaces

Increased land-use intensity and development activity in Cremorne has put pressure on its limited public open space. Cremorne's industrial past means it has little public open space. Cremorne's four areas of public open space - Stephenson Street

Reserve, Charles Evans Reserve, White Street Park and the Church Street Park, total only 0.5 ha in area and offer a limited range of recreation uses. Privately owned, publicly accessible spaces such as Dale Street Reserve and Electric Street, supplement the broader network of public spaces. These spaces help to green Cremorne and provide space for sitting and enjoying.

New open space is needed to cater for the needs of the resident and growing worker community. Cremorne will require the development of a well considered and designed network of public spaces for all types of users. Given the lack of Council owned sites within the Precinct, State Government land should potentially play a key in delivering public benefits such as new open space. There is also the opportunity to collaborate with owners of large strategic sites in Cremorne and deliver new open space.

Planning for public spaces in Cremorne must consider high quality design, connections to the wider public open space network, provision of multi-functional spaces and creation of a green network which includes street planting.

Other large areas of open space within walking distance include - Gosch's Paddock, just west of Cremorne and Barkly Gardens, Alan Bain Reserve and McConchie Reserve to the east. However, access to these extensive open space areas is difficult with major barriers such as Church Street and Punt Road.

Stephenson Street Reserve (0.02 Ha)

Located at the intersection of Stephenson and Dover Streets. It is a small linear grassed space with seating and established trees. Recently expanded and upgraded with new seating and landscaping.

Charles Evans Reserve (0.10 Ha)

Located off Cubitt Street, adjacent to a freeway sound wall. Largely in shadow and access to the reserve is difficult. Includes a playground, paths, seats and open grassy area.

White Street Reserve (0.11 Ha)

Located in the Cremorne Residential Precinct. Includes a playground, paths and seating. It is frequently used as a cut-through for people accessing the Green Street railway underpass.

Church Street Park (0.27 Ha)

Located at southern end of Church Street. Includes open lawn and platforms with views across to the Yarra River and a plaza incorporating seating, picnic and play areas.

Dale & Electric Street Reserve (private)

Located within the 658 Church Street business park precinct. Privately owned. Provides passive green lawn areas for the surrounding commercial uses.

Barkly Gardens (2.67ha) (east)

First opened in 1867 as a public garden and retains many of its historical features. It has a playground, BBQ facilities and off leash areas for dogs.

Alan Bain Reserve (1.17ha) (east)

Adjoins Barkley Gardens and provides sportsfields.

McConchie Reserve (2.43 Ha) (east)

Located on Mary Street, adjoins CityLink. Provides access to the Main Yarra Trail and Yarra River. Includes a playground and exercise equipment.

Gosch's Paddock (west – within the City of Melbourne) Forms part of the Sports and Entertainment Precinct. Accessible for public informal use when not in use for training purposes. Punt Road a major barrier to access from Cremorne.

Reconnecting with the Yarra River (Birrarung)

While Cremorne has been cut off from the Yarra River by Citylink, there is an opportunity to reconnect and improve access to the Yarra River frontage and Main Yarra Trail.

There are three critical access locations to the Main Yarra Trail; Punt Road, Oddys Lane and Church Street. At the western end of Cremorne, Citylink is elevated and the Main Yarra Trail is accessed by crossing a freeway entrance and the underpass of the freeway above. To the east, the Freeway is at river level and prevents at grade access to the Main Yarra Trail.

The Main Yarra Trail provides a pedestrian and cycling route along the river but the path is narrow and shared by pedestrians and cyclists. There are few places to stop and enjoy the river.

Accessing the Main Yarra Trail and crossing the Yarra River is challenging with level changes, limiting access for all and creating safety hazards. Two of the three bridges crossing the Yarra have stairs to the Main Yarra Trail.



Image 27 - Main Yarra Trail

Enhancing Cremorne's streets as people places

Cremorne has an intimate network of streets. Its streets are dominated by cars and characterised by narrow footpaths, a lack of trees and places to sit. Bridges and the elevated railway line also impact on pedestrian amenity and accessibility.

The network of streets will play a vital role in the public life of Cremorne, creating pedestrian and cycle links and set the agenda that this place is for active transport modes over cars. The streets will accommodate trees and places to sit and rest.

Developing a sense of community

Placemaking is essential in establishing a strong connection between people and the places they share. Developing a sense of community is considered vital to creating thriving high density environments. It creates social connections, improved perceptions of safety and encourages participation in community life.

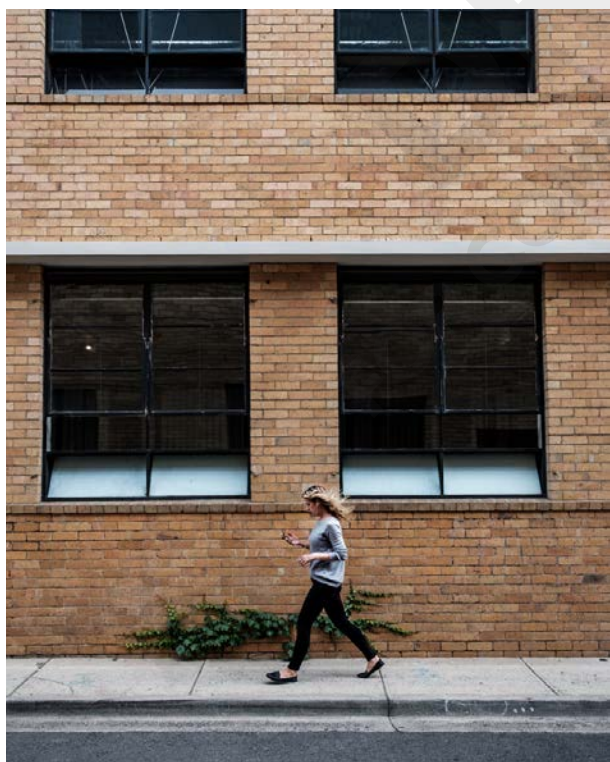


Image 28 - Opportunity for better pedestrian amenity



Image 29 - Balmain Street plaza

How are we addressing these issues?

The objectives and actions under this theme will help deliver the vision for Cremorne by:

- Creating a network of high quality public spaces in Cremorne. (Objective 4.1)
- Reconnecting Cremorne with Yarra River (Birrarung). (Objective 4.2)
- Redesigning Cremorne's streets as places for people. (Objective 4.3)
- Enhancing Cremorne Street and Church Street as key activity corridors in Cremorne. (Objective 4.4)
- Reimagining the Richmond Station and East Richmond Station key transport hubs. (Objective 4.5)
- Supporting local placemaking initiatives that activate and enrich Cremorne. (Objective 4.6)
- Protecting and interpreting Aboriginal cultural values and heritage in the design of Cremorne. (Objective 4.7)

Objective 4.1 Create a network of high quality public spaces in Cremorne.

The delivery of public spaces and creating a network of open spaces within Cremorne is crucial in planning for growth in Cremorne.

Improving the quality of existing open spaces

Given the value of land in Cremorne and its fine grain subdivision pattern, upgrading and expanding existing open space is a practical and economical approach to providing better quality, multiple purpose open spaces.

Yarra has recently constructed and expanded two public spaces:

- Stephenson Street Reserve (a welcoming place for people to sit, relax and meet with friends or have lunch)
- corner of Gwynne Street and Stephenson Street (a place to pause and relax).

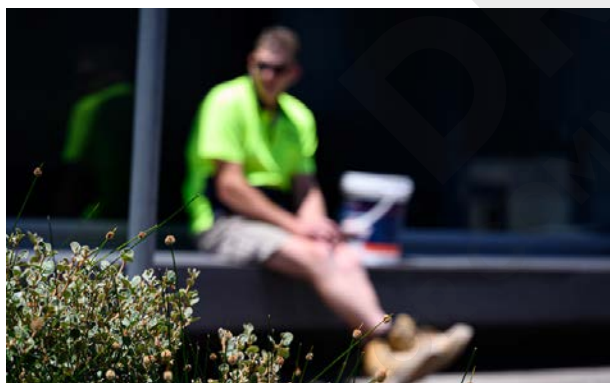


Image 30 - Spaces to sit and rest

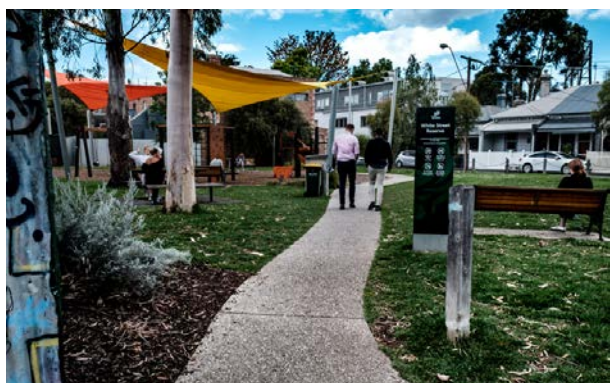


Image 31 - White Street Park

Other spaces recommended for upgrades include the White Street Reserve and Charles Evans Reserve. The Yarra Open Space Strategy (2020) recommends updates to facilities to provide for a diverse range of users.

Providing new open space within easy walking distance

Even with improvements to existing open space, there will still be major gaps in Cremorne's open space provision.

The Yarra Open Space Strategy identifies areas where additional open space is required for both the existing and forecast community. Seven locations are identified in Cremorne (Refer Figure 40):

1. Small Neighbourhood Open Space in the vicinity of the BKL site between Cremorne Street and Dover Street
2. Local Open Space between the railway and Church Street, north of Balmain
3. Small Local Open Space between Punt Road and Cremorne Street and north of Kelso Street
4. Small Local Open Space in the vicinity of Gough Street
5. Small Local Open Space south of Balmain Street between Cremorne Street and Cubitt Street
6. Small Local Open Space south of Balmain Street, between the railway and Church
7. Small Local Open Space in the vicinity of Swan Street and East Richmond Station.

Small Neighbourhood Open Space

Neighbourhood Open Space provides a diverse range of facilities that encourage people to spend time in and appeal to the local neighbourhood. Small Neighbourhood Open Spaces are smaller than Neighbourhood open space and provide some diversity of facilities for the local community within a 300m catchment.

- Minimum 0.5 to 0.99 Ha (within a 300m walking catchment)

Local & Small Local Open Spaces

Local and Small Local Open Spaces complement the larger reserves and provide smaller more intimate spaces within safe and easy walking distance of the local community.

- Local Open Space: Minimum 0.26 to 0.49 Ha (within a 200m walking catchment)
- Small Local Open Space: Minimum 0.03 to 0.25 Ha (within a 150m walking catchment)

Yarra Open Space Strategy (2020)

It is expected that new development will contribute to the provision of public open space in Cremorne. A contribution of land is preferred to a cash contribution in Cremorne.

State Government land would also play a key role in delivering public spaces and open space. The Department of Education is one of the most significant landholders in Cremorne. This includes the Bendigo Kangan Campus on Cremorne Street, which is approximately 1.4 ha in area with a mix of buildings and large at grade carparks. Other State Government land surrounding Richmond and East Richmond Stations and the rail corridor (Green Street) also presents opportunities.

Other opportunities include:

- Undertaking further investigations and master planning of strategic sites in collaboration with landowners to deliver open space.
- Continuing to investigate opportunities to acquire larger land holdings and road closure opportunities where vehicle access is no longer required from a vehicular network perspective.

All new open space in Cremorne should be designed to provide a diversity of facilities and contribute to greening of the precinct and mitigation of the urban heat island effect.

Improving connections to surrounding open spaces

Given its location close to Gosch's Paddock to the west, parklands along the river to the west and south and Barkly Gardens, Alan Bain Reserve and McConchie Reserve to the east, Cremorne presents an opportunity to improve links to these nearby areas of public open space.

Green links will be developed on key east-west and north-south streets to link Cremorne with these spaces. The creation of green links will strengthen the visual links to these spaces and together with improved crossing at Punt Road and Church Street, will improve walkability.



Image 32 - Green Street north south link

Actions

- 4.1.1 Upgrade and maintain existing open spaces, including:
- White Street Reserve to include exercise equipment and picnic facilities to improve the character and diversity of age groups that can use the reserve
 - Charles Evans Reserve to include minor improvements to the picnic area and playground.
- 4.1.2 Create seven new open spaces, as identified in the Yarra Open Space Strategy for the existing and forecast community, including a:
1. Small Neighbourhood Open Space in the vicinity of the BKL site between Cremorne Street and Dover Street
 2. Local Open Space between the railway and Church Street, north of Balmain Street
 3. Small Local Open Space between Punt Road and Cremorne Street and north of Kelso Street
 4. Small Local Open Space in the vicinity of Gough Street
 5. Small Local Open Space south of Balmain Street between Cremorne Street and Cubitt Street
 6. Small Local Open Space south of Balmain Street, between the railway and Church Street
 7. Small Local Open Space in the vicinity of Swan Street and East Richmond Station
- 4.1.3 Request and preference land contributions for public open space (in lieu of cash payments) on large development parcels, where possible.

Actions

- 4.1.4 Develop masterplans to identify potential open space on strategic sites.
- 4.1.5 Investigate opportunities to deliver public space on Government owned sites surrounding Richmond Station, East Richmond Station and Green Street along the railway line and on the BKL Campus.
- 4.1.6 Rezone recently expanded, existing and proposed new public open spaces to Public Park and Recreation Zone (PPRZ), including but not limited the White Street Reserve.
- 4.1.7 Develop a green links along:
- Kelso Street to connect to an improved crossing at Punt Road and Gosch's Paddock
 - Balmain and Cotter Streets to the Barkly Gardens, Alan Bain Reserve and McConchie Reserve
 - Green Street / Oddys Lane to enhance the physical connection to the river.

Objective 4.2 Reconnect Cremorne with Yarra River (Birrarung).

Accessing and enjoying Birrarung

Historically Cremorne has had a strong relationship with the Yarra River as part of the traditional lands and waters of the Wurundjeri Woi Wurrung people. In the 1850s, it became a location for large residences and parklands and following that, industry. In the 1970's, Cremorne was further cut off from the river through the construction of the Monash Freeway (now Citylink).

The City of Melbourne has recently adopted the Greenline Implementation Plan - A Vision for the North Bank (December 2021) which seeks to 'transform the river's north bank into a reinvigorated and inspiring public waterfront.' Working with Parks Victoria, the Government agency responsible for the Main Yarra Trail, the focus on the river would continue in Cremorne. Along the river itself opportunities include:

- Widening the Main Yarra Trail to provide separated space for pedestrians and cyclists (commuter and recreational).
- Creating new spaces such as viewing platforms and expanded decking along the Main Yarra Trail to provide places for rest, experience the river and enjoy views of bridges, landmarks signs and the city skyline.
- Reimagine the Cremorne underpass (on the southern side of Harcourt Parade) as an urban space which provides access to the river, amenities such as seating and opportunities for active recreation.



Image 33 - Oddys Lane opportunity for a new green link

Connections between the river and Cremorne would be improved, as well. Physical barriers will be reduced and wayfinding enhanced with safety and inclusivity prioritised.

Access to the Main Yarra Trail and river would be enhanced by:

- Improving the design of Harcourt Parade to reduce speeds onto the Freeway to improve pedestrian and cyclist safety (subject to Department of Transport approval).
- Providing alternative options that enhance access for all to the Main Yarra Trail from the Church Street Bridge and Cremorne Railway Bridge (Oddys Lane).
- Creating a green link along the Green Street / Oddys Lane to enhance the physical connection to the river.

Reconnecting Cremorne with the river also provides opportunities to collaborate with Traditional Owner groups to help tell the living cultural story of their connection to the river.

Actions

4.2.1 Activate the Cremorne underpass (managed by CityLink) by improving links to the Yarra River, providing amenities such as seating and investigating options for active recreation.

4.2.2 Improve access from Oddys Lane and the Church Street Bridge to the Main Yarra Trail to ensure universal access to the river and an environment that safely caters for everyone.

4.2.3 Work with Parks Victoria to investigate opportunities to:

- widen the Main Yarra Trail to allow for more separation between walking and cycling.
- create spaces to sit, view and enjoy the river at key locations along the river and the Main Yarra Trail.

Objective 4.3 Create a network of streets and spaces for people.

Making Cremorne's streets people friendly

The Draft UDF aims to create welcoming places that cater for all members of the community. The plan is based around the principle that streets should be designed as places and not just thoroughfares.

Over time the redesign of streetscapes in Cremorne will create people-oriented streets that:

- are safe and easy to get around on foot or on a bike
- enhance shade trees and greenery
- create welcoming places for people to meet, rest and play.

This will include the creation of new pocket plazas or people places incorporating seating and shade. Other improvements to specific streets, lanes and the public realm are identified in Theme 3: Accessible and Connected Cremorne.



Image 34 - Lack of spaces to sit along streets



Image 35 - Church Street outdoor dining

Ensuring new development contributes to the public realm

The design of buildings and the interface with the street plays a large role in contributing to the creation of a comfortable and engaging public realm.

New developments will need to achieve quality streetscape outcomes by ensuring they protect sunlight (solar access) to key footpaths, minimise the impact of building services and car parking on pedestrian and cycle routes and create lively and interesting ground floors, entrances to buildings and façades (see Theme 5: Quality design that builds on Cremorne's precinct identity).

Making it easier to find your way around

Great precincts are also easy to find your way around. Elements that improve wayfinding can include physical elements such as urban design, architecture, landmarks, lighting, footpaths, landscaping and signage. These elements work together to improve people's experience, save journey times and encourage walking and cycling.

The redesign of streetscapes and intersections will be supported by clear and consistent wayfinding and signage that enhances legibility to key destinations such as the BKL campus, surrounding open space network and public transport hubs.

The Wayfound Victoria Guidelines, published by the Melbourne Visitor Signage Committee and adopted by the City of Yarra, provides principles and guidelines and technical information for signage. The Guidelines would be used to help design and place new directional signage.

Actions

4.3.1 Develop streetscape guidelines to enable developers to contribute to improving the public realm adjacent to their development, including infrastructure and streetscape upgrades.

4.3.2 Work with service providers and landowners, especially on sites with large frontages, to underground powerlines to improve footpath access for pedestrians and users with limited mobility.

4.3.3 Identify opportunities for small spaces and pocket plazas, including:

- Balmain Street Plaza (west of the underpass)
- Balmain Street (east of the underpass adjoining the Cremorne Digital Hub)
- south west corner of Swan Street and Cremorne Street.

4.3.4 Implement Wayfound Victoria Guidelines in the design and installation of signage in Cremorne to improve the consistency, reliability and integration of direction and information signs.

Objective 4.4 Enhance Cremorne Street and Church Street as key activity corridors in Cremorne.

Church Street – Key Activity Spine

Church Street is the retail and commercial corridor of the precinct with a mix of offices, company headquarters, showrooms, retail and cafes, connecting North Richmond to South Yarra (Chapel Street) via the Church Street Bridge. It is a major public transport and strategic cycling corridor and an arterial road managed by the Department of Transport.

Church Street will become a vibrant, active street that prioritises walking, cycling and public transport. It will feature:

- widened footpaths, seating and canopy tree planting
- high frequency tram services
- accessible tram stops/platforms providing seamless movement from footpath to public transport stops supported by infrastructure and signalling
- dedicated cycle infrastructure
- several key east-west streets will be enhanced as links to open space and other parts of Cremorne with planting, wider footpaths and on-road bike routes
- Balmain / Cotter and Church Street intersection will be redesigned to enhance sustainable transport options.



Image 36 - Church Street

Cremorne Street – Heart of Cremorne

Cremorne Street will form of the heart of the Cremorne Enterprise Precinct with diverse global and local creative and innovative businesses.

Cremorne Street will become a leafy pedestrian and cycle friendly spine, enhanced by:

- slowed traffic speeds and minimisation of through traffic (Refer Theme 3: Connected and Accessible Cremorne)
- providing on-road bike routes
- improving footpath widths through kerb outstands and building setbacks on larger sites
- planting canopy trees and other vegetation
- enhancing street lighting
- spaces for sitting / resting and meeting.

It will also provide the entrance to the reinvigorated BKI campus which would become a creative and digital education and community hub for the Enterprise Precinct.



Image 37 - Cremorne Street

Actions

4.4.1 Prepare a Streetscape Master Plan for Church Street to guide future streetscape improvements. A master plan will guide the design and delivery of streetscape upgrades along the street. It will identify capital works projects and set out the materials palette and guidelines for implementing any streetscape upgrades.

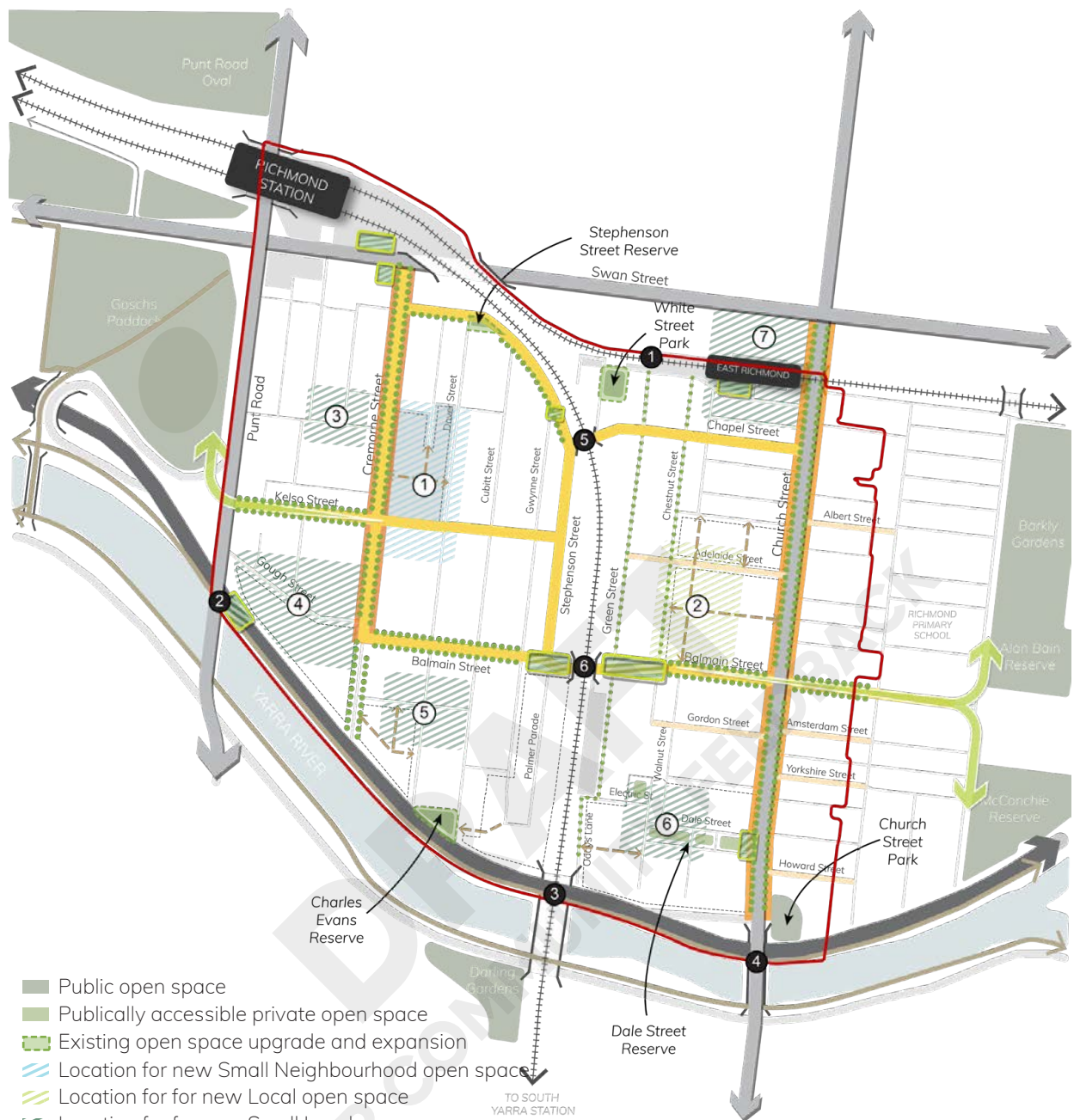
Opportunities include:

- improving the functionality, accessibility and safety of pedestrian environment along Church Street
- providing accessible tram stops
- providing design initiatives for outdoor trading
- enhanced and safe cycle routes
- improving accessibility and amenity of the East Richmond Station area (refer to Objective 4.5)
- exploring opportunities and preparing concept designs for potential new kerb outstands and east-west links (including Albert Street, Adelaide Street, Amsterdam Street, Gordon Street, Yorkshire Street and Howard Street).

4.4.2 Prepare a Streetscape Master Plan for Cremorne Street to guide future streetscape improvements.

Opportunities include:

- working with BKI to improve interfaces to the street, connections through the site and new open space (refer to Objective 1.4)
- improving the functionality, accessibility and safety of pedestrian environment along Cremorne Street
- improving cycle facilities along the street
- reducing through traffic (noting this is dependent on the signalisation of Kelso Street)
- improving connections to Richmond Station (refer to Objective 4.5).



- Public open space
- Publically accessible private open space
- Existing open space upgrade and expansion
- Location for new Small Neighbourhood open space
- Location for for new Local open space
- Location for for new Small Local open space
- Public space opportunity or upgrade
- Improve connection to surrounding open space
- Government land
- Strategic sites
- Movement corridor (street re-design)
- Activity spine
- East West links
- Strategic Cycling Corridors (shared trails)

Railway and river crossing upgrades

- ① Green Street underpass
- ② Punt Road CityLink underpass
- ③ Oddys Lane railway bridge
- ④ Church Street
- ⑤ Dunn Street underpass
- ⑥ Balmain Street underpass

Potential open space locations

- ① Small Neighbourhood Open Space in the vicinity of the BKL site between Cremorne Street and Dover Street
- ② Local Open Space between the railway and Church Street, north of Balmain Street
- ③ Small Local Open Space between Punt Road and Cremorne Street and north of Kelso Street
- ④ Small Local Open Space in the vicinity of Gough Street
- ⑤ Small Local Open Space south of Balmain Street between Cremorne Street and Cubitt Street
- ⑥ Small Local Open Space south of Balmain Street, between the railway and Church Street
- ⑦ Small Local Open Space in the vicinity of Swan Street and East Richmond Station

Figure 40 - Open space and public realm framework

Objective 4.5 Reimagine the Richmond and East Richmond Station transport hubs.

Accessibility is a key success factor for the Cremorne Enterprise Precinct and its retail and residential areas. Richmond Station and East Richmond Station, on the northern boundaries of Cremorne, are integral to its success. Both provide public transport interchanges with access to tram routes and bus routes, in the case of Richmond Station.

Train stations are a key public spaces and piece of infrastructure for the community. They are natural gathering points. A key outcome for both stations is improved access and facilities for commuters and the community, with areas to relax and socialise.

Richmond Station - Major Gateway to Cremorne

Richmond Station is a major regional transport interchange. It forms the gateway to Richmond, the Sports and Entertainment Precinct and Cremorne. The station serves a significant volume of people attending major events in the Sports and Entertainment Precinct, the local resident and worker population of Cremorne and Richmond and people changing lines or swapping to trains and buses.

There is significant opportunity to improve public transport access and amenity of the station and area around it.

It will be easier to get to the station via the redesigned Cremorne Street and a new scramble crossing at Swan Street. With an



Image 38 - Richmond Station Swan Street

opportunity for new public open to be created on the south-west corner of Cremorne and Swan Streets on Government land.

A new public space and much needed widened footpaths would be located on the northern side of street on the triangular land next to the station entrances to frame the entrance to the station and provide more space for seating and improved amenity.

The Swan Street railway bridge would be enhanced through public realm improvements showcasing diversity in sport through feature lighting, artwork and projections (refer to the Swan Street Streetscape Master Plan).



Image 39 - East Richmond Station platform

A revitalised East Richmond Station

The northern end of Church Street is focussed around the East Richmond Station. Access to the station is poor and is via laneways, ramps and underpasses. There is poor directional signage and low amenity and perception of safety, particularly at night. The station has no presence on Swan Street or Church Street. The area around the station is dominated by vehicular traffic and car parking – with little facilities for pedestrians or welcoming public space.

East Richmond Station would be enhanced by improved access to the station from Swan Street by turning Green Street, Railway Place and Shakespeare Place into pedestrian priority zones. This would entail the creation of a larger station forecourt and civic space in the existing car parking spaces on the northern side of the railway line (refer to the Swan Street Streetscape Master Plan).

From Cremorne, access would also be improved via the Green Street underpass with improved sightlines and lighting. Importantly the East Richmond Station would be redesigned with a new station building on Church Street.

Actions

4.6.1 Engage with Department of Transport and VicTrack in future master planning for the redevelopment of the Richmond Station Precinct. Advocate for measures to improve the arrival experience and amenity of Richmond Station, including:

- implementing the Richmond Station Railway Bridge Gateway (refer to Swan Street Streetscape Masterplan)
- establishing a scramble crossing and public spaces at Swan and Cremorne Street intersection
- maintaining the pedestrian link to Stephenson Street along the railway corridor
- re-purposing underutilised land for public space and extended footpaths.

4.6.2 Work with Department of Transport and VicTrack to improve access and amenity East Richmond Station, including:

- implementing the Swan Street Streetscape Master Plan project to enhance the East Richmond Railway Station Forecourt on the northern side of the railway line
- exploring opportunities to increase the presence of the station at street level on Church Street
- improving pedestrian and bike access from the south of the station, including improving the amenity of the Green Street underpass, pedestrian access and car parking off Railway Crescent
- increasing the frequency of services stopping at East Richmond.

Objective 4.6 Support local placemaking initiatives that activate and enrich Cremorne.

Yarra's Place Making Framework (March 2022) identifies Cremorne (west of Church Street), Swan Street and Church Street as priority places for place making.

Place making includes:

- 'Hard' placemaking - physical infrastructure such as public realm improvements and public spaces, tree planting, traffic management treatments, new open spaces and improvements to existing open spaces.
- 'Soft' Place Making - activations and place management, community events, pop-up and temporary or trial installations, street parties, place management and curation.

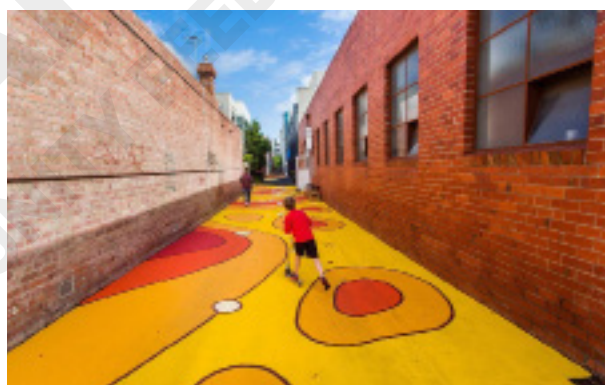


Image 40 - Walnut Street shared zone

Cremorne has a well-organised community with several groups undertaking placemaking initiatives to improve Cremorne's quality of place, including temporary art installations and heritage interpretation, wayfinding, pop up spaces and street festivals. These community initiatives activate public spaces and contribute to vibrant spaces people love.

Place making provides the opportunity to enhance the sense of place and build community pride and connectivity by ensuring the local community is engaged in place making projects.

Cremorne is characterised by its quirky public art. Public art, integrated into public spaces and places, reflects Cremorne's creative businesses and community. It transforms public spaces and can express Cremorne's unique history, meaning and future of its location, its people and their stories.

Public art in Cremorne could include murals and projections, integrated art, and the use of smart technologies to activate and enhance the community experience.

This could be in the form of:

- Council / community funded works
- public art incorporated into State Government led infrastructure projects
- public artworks, as part of private developments.



Image 41 - Murals form part of Cremorne's identity

Actions

4.6.3 Support the community in place making through engaging on key projects and collaborating on activations and other initiatives in Cremorne.

4.6.4 Support public art that celebrates and enhances Cremorne's history and identity by:

- embedding public art into open space, public realm and infrastructure projects.
- encouraging and facilitating opportunities for public art to be commissioned in the private realm.

Objective 4.7 Protect and interpret Aboriginal cultural values and heritage in the design of Cremorne.

The area now known as the City of Yarra stands on the traditional lands and waters of the Wurundjeri Woi Wurrung people. Their connection to country extends back more than 60,000 years.

While links to Cremorne's traditional custodians have been diminished through post colonisation development, there is an opportunity to restore some of these links through recognition and interpretation of Aboriginal cultural values in Cremorne.

Engagement with the development industry, community and other stakeholders and ongoing consultation and collaboration with Traditional Custodians will provide opportunities to embed Caring for Country principles in the design and management of open spaces. Opportunities for the Aboriginal naming of streets, parks and community infrastructure will be encouraged.

Actions

4.7.1 In consultation with Traditional Custodians, support opportunities to embed Aboriginal language, design and names in streets, parks and public buildings.

Theme 5: Quality design that builds on Cremorne's precinct identity

High-quality built form outcomes will help deliver on the vision for Cremorne. New development will respond to Cremorne's character and the surrounding context, contribute to the public realm and enhance heritage buildings in Cremorne.

Challenges and opportunities

Cremorne is undergoing significant change and development pressure. The high demand for office floor space in Cremorne and unprecedented investment is changing the scale of commercial development. Older building stock is being replaced with contemporary office buildings of varying quality. Emerging development issues include:

- ground floors which are dominated by entrances to car parks and building services
- extensive glazing which limits the opportunity to engage with the street
- buildings built to the front boundary that provide little space around building entrances for standing, waiting or sitting. This is exacerbated by narrow and cluttered footpaths
- development that visually dominates and overshadows the street
- large commercial floor plates which create big bulky buildings
- poor internal amenity outcomes
- development outcomes which make it difficult for neighbouring sites to develop
- the lack of built form guidelines addressing residential amenity and managing differing scales of development.

Retaining the character of Cremorne

The urban character of Cremorne is diverse and interesting. Layers of history are evident in its mix of industrial warehouses, large institutions, rows of old workers' cottages, Victorian terraces and contemporary office buildings.

Along with its heritage buildings, there are a number of 'character' buildings that are dotted throughout Cremorne. They include single storey brick factories / warehouses which contribute to the intimate and mixed character of Cremorne. In addition to contributing to the sense of place and people's appreciation of the precinct, heritage and character buildings are attractive settings for businesses.

Cremorne is also home to two significant signs (identified as Municipal Landmarks); the Nylex Sign included on the state heritage register (Richmond Maltings, Gough Street) and the Slade Knitwear Sign (Dover Street). Views to these landmarks are important to reinforce a sense of place, retain important historic reference points and enrich the experience of residents and visitors within Cremorne and Yarra.

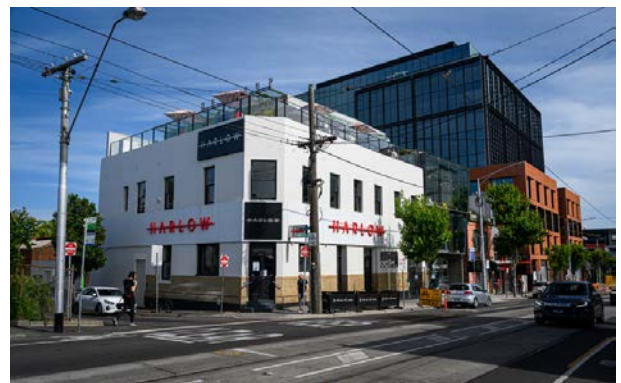


Image 42 - Church Street corner pub (non heritage)



Image 43 - Human scale along Green Street

Creating planning controls to guide future development

The increased number of developments, emerging scale and absence of clear directions to guide Cremorne's future character, has reinforced the need for new built form controls. The existing planning controls within Cremorne's commercial precincts mainly manage the use of land.

New controls are proposed for Cremorne's commercial precincts to manage the scale and design of development of land and provide clarity and certainty for landowners, Council and the community. The new built form controls aim to balance the need to accommodate employment growth while protecting heritage fabric, enhancing the public realm and managing amenity impacts.

The built form recommendations will be implemented through new schedules to the Design and Development Overlay (DDO). The Design and Development Overlay (DDO) is a planning tool that is applied to areas which need specific requirements to guide the built form and design of new development. DDOs set requirements for the height, form and the general design of buildings.

DDOs are proposed to apply to the three commercial precincts where significant development is occurring - Cremorne West Precinct, Railway Precinct and Church Street Precinct. Additional work will be undertaken to develop specific controls to guide development on the seven identified strategic sites (refer to Objective 5.5).

No changes are proposed to the residential precincts in the Neighbourhood Residential Zone (NRZ) and General Residential Zone (GRZ). These areas are already covered by existing planning controls that will manage development.

DDOs can include built form and design requirements that are mandatory or preferred (discretionary). A mandatory requirement is a requirement that must be met with no opportunity to vary it. A discretionary (or preferred) requirement provides for some flexibility in how the required outcome is achieved. In Yarra, most DDOs contain a mix of both. In Cremorne, most of the built form controls are proposed as 'preferred'. Controls to protect view lines and the overshadowing of footpaths are proposed to be mandatory.



Image 44 - Ground floor activity



Image 45 - Landscaped setbacks on Blanche Street

Approach to built form

The proposed future built form sees taller mid-rise development on the precinct's main spines and the core areas of the commercial precincts. Heights are lower on narrow streets and also transition down in height to existing residential areas.

Mid-rise development in the majority of the three commercial precincts will allow for increased development capacity while reinforcing the existing urban structure (the fine grain street network and narrow sites mixed with larger sites). Taller development will be encouraged in parts of Cremorne where there are less constraints e.g. along wider streets such as Church Street and the elevated railway line.

Careful consideration is also given to maintaining the prominence and visibility of heritage features and limiting the impact of overshadowing on important footpaths and public open space.

Vision statements have been developed for the Cremorne West, Railway and Church Street commercial precincts (refer to Part 3: Precincts). They not only describe the built form but also how streets will be redesigned, identify new open space opportunities and the type of land uses that might be expected. The new built form controls will allow developments to respond to, reinforce and strengthen this character, while providing opportunities for innovation and great design on a site-by-site basis.

How are we addressing these issues?

The objectives and actions under this theme will help deliver the vision for Cremorne by:

- Creating a comfortable and engaging public realm. (Objective 5.1)
- Delivering high-quality sustainable buildings. (Objective 5.2)
- Ensuring the scale and form of buildings respond to their context. (Objective 5.3)
- Showcasing Cremorne's diverse heritage buildings. (Objective 5.4)
- Creating blueprints for the redevelopment of strategic sites. (Objective 5.5)

Objective 5.1 Create a comfortable and engaging public realm.

The street interface has the most significant impact on the quality of the public realm as it is the most visible part of the building from the public realm.

Opportunities to enhance the public realm

Large sites, in particular, provide an opportunity to create ground floor setbacks to create a transition between the public realm (i.e. the street) and the private realm (i.e. the building). These transition areas could be used for landscaping and seating, outdoor dining and bike parking and create attractive and useable spaces.

Creating well designed buildings at street level

Active frontages are crucial to add interest, vitality and safety to streets, while helping to encourage walking. This means building frontages should have openings (frequent doors and windows), articulated facades



Image 46 - Inset building entrances



Image 47 - Chamfered building corners

and limited blank walls. Internal uses should be visible from the street.

The ground floor of buildings should minimise the impact of inactive uses such as carparking and servicing, especially on sites with narrow frontages.

Where possible vehicle access and services should be provided off existing or proposed laneways rather than main streets. Any car parking within buildings should not be visible from the street. Proposed changes to the maximum car parking rate for office developments will help reduce the need for carparking in developments and have a positive impact on the design of many developments.

Retaining solar access to key footpaths and open space

Solar access to the footpaths of key streets will be maximised to ensure streets are comfortable, sunny public spaces that encourage people to meet and linger. Streets that have been identified for controls over solar access are Balmain Street, Cremorne Street and Church Street. These streets support a higher concentration of shops and cafes and are key connector streets for public transport, walking and cycling. These controls are proposed as mandatory.

The solar access controls have informed the street wall and overall building heights on sites adjoining the key pedestrian streets (Cremorne Street, Balmain Street and Church Street).

The draft UDF also seeks to protect existing public spaces from additional overshadowing. The majority of these locations are within low rise residential areas and will not be overshadowed.

Design objectives

- To provide for street activation at ground level to create a pedestrian-oriented environment and enhance passive surveillance of the public realm.
- To ensure new development enhances the public realm and contributes to a network of pedestrian friendly streets.
- To retain solar access to the footpaths along Church Street, Cremorne Street and Balmain Street.
- To prevent overshadowing of existing public open space.
- To minimise the negative impacts of servicing and car parking on the public realm.
- To minimise adverse wind effects caused by buildings in the public realm.

setbacks are strongly encouraged on all sites where they have been provided nearby or neighbouring developments to achieve a consistent approach along a street frontage.

- Provide chamfered building corners at intersections (where appropriate) to create additional public space at points of pedestrian congestion.



Image 48 - Setbacks re purposed for recreation

Recommendations

Active street frontages

- Break up buildings with a wide street frontage into smaller vertical sections or separate elements to provide breaks and modulation in the facade.
- Provide a high level of design detail at the ground floor and lower levels of buildings.
- Provide well-designed entrance spaces to buildings that create a transition between the public and private realm and encourage activity to occur at the street interface.

Building setbacks

- Expand the public realm through inset building entrances and integrated seating (where determined appropriate).
- Where heritage is not a constraint, sites with a frontage of 30 metres or greater should provide ground level setbacks to enhance the public realm and accommodate building entrances, spaces for outdoor dining, street level bike parking or landscaping. Ground level

Solar Access / Overshadowing

- Ensure no additional overshadowing of the eastern/western footpath of Cremorne Street and Church Street between 10am and 2pm at the spring equinox (September 22) for a minimum of 3 hours.
- On Balmain Street, ensure no additional overshadowing of the following locations between 11am and 2pm at the spring equinox (September 22):
 - southern footpath on Balmain Street, east of the underpass
 - the southern portion of the Balmain Street Plaza
 - front gardens of dwellings on the southern side of Balmain Street between Cremorne Street and Gwynne Street.

- Ensure there is no additional overshadowing of existing public spaces at the spring equinox (22 September) between 10am and 2pm.
- In locations where new public open space is identified (refer to Figure 40 in Theme 4) adjoining development should consider how building heights and massing would minimise additional overshadowing of any potential public open space.

Wind impacts

- Deliver comfortable wind conditions in the public realm.
- Development proposals for buildings over 15 metres in height will be required to be accompanied by a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.

Access, parking and loading

- Design vehicle ingress and egress into development, including loading facilities, to limit potential conflict between vehicle movements, pedestrians and designated bike routes.
- Locate any car parking within a basement or concealed from the public realm.
- Avoid separate entries for car parking entries and loading bays.



Image 50 - Parking impacts the quality of the street

Building Services

- Building services should not be visible on primary building facades. Where this is not possible, services should be integrated into the overall design of the building.
- Sub-stations to be located below ground and accessed from accessways or located off the primary street.

Laneways

- Increase the width of existing laneways and streets to a minimum of 6m where a property extends the full length of the laneway or street.
- Where access is required from streets/laneways of 6m or less, include a setback at ground floor, to facilitate the ongoing function of the laneway and allow for building services and car park access. The setback in the laneway should provide a minimum width between walls of 6.1 metres (including the existing laneway). Between ground level and first floor, a headroom clearance of 3.5 metres minimum should be achieved.
- Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings.

Actions

5.1.1 Prepare a planning scheme amendment to introduce and implement the built form recommendations for Cremorne West, Railway and Church Street Precincts: Including:

- Active street frontages
- Building setbacks
- Solar access / overshadowing
- Wind impacts
- Access, parking and loading
- Building services
- Laneways.

Objective 5.2 Deliver high-quality sustainable buildings.

Delivering sustainable office environments is integral if Cremorne is to continue to attract progressive businesses to Cremorne. Sustainable, high-quality building design leads to reductions in energy costs and healthier workplace environments.

Delivering high-quality sustainable buildings requires sustainability to be treated as integral to the design of buildings rather than as a last-minute addition.

Sustainable buildings will be addressed through the implementation of Council's existing Environmentally Sustainable Development policy and any new standards approved as part of the Elevating Environmental Standards planning scheme amendment (see Theme 2: A leading sustainable and climate resilient precinct).

Adaptable buildings

Buildings that are designed to be flexible in use are more sustainable in the way they can adapted over time. The ability to create workspaces of different sizes, types and costs can meet different needs and respond to change. Car parks should also be designed to facilitate conversion to other uses.

Building separation

Adequate building separation distances are required to ensure that good levels of daylight and sunlight enters buildings. It also ensures that an outlook is provided from within buildings to connect occupants to the outside world and that privacy between neighbouring buildings is managed.

Building separation is also important to provide development equity and ensure the development of one site does not prevent the development of a well-designed building on the adjacent site.

The proposed built form controls require that buildings on sites with frontages of 20m or greater should be set back from side and rear boundaries. Buildings on narrow sites may be built to boundary in some circumstances where they avoid creating blank unarticulated walls and a continuous wall of buildings.

Where buildings are constructed / partially to the boundary, visible side walls should be well designed and articulated to avoid sheer blank pre-cast walls.

Design objectives

- To ensure buildings are well spaced and sited to provide equitable access to an outlook and good daylight.
- To avoid sheer unarticulated pre-cast walls.
- To develop buildings which are flexible and adaptable.
- To achieve optimal thermal comfort, including through natural ventilation, high performance insulation and the integration of green infrastructure.
- To encourage active transport through the provision of facilities for bike riders and pedestrians.

Recommendations

Sustainable buildings

- Achieve net zero carbon emissions.
- Maximise access to daylight through windows, lightwells, shallow floorplates, adequate floor to ceiling heights and building separation.
- Provide sustainable design features to address water management, solar access and innovative energy saving initiatives.
- Minimise the impact of development on solar access to adjacent solar panels.
- Design facades that are responsive to orientation to achieve optimal thermal comfort.

- Achieve a high standard of internal amenity within the development.
- Ensure development appropriately considers the amenity impacts on neighbouring development.
- Provide access to balconies, terraces and courtyards to enhance amenity for building occupants and provide opportunities for greening.

Adaptable buildings

- Ensure floor to ceiling heights are appropriate to a range of uses over time.
- Enable subdivision of floorplates into smaller tenancies over time in response to evolving work patterns.
- Enable the conversion of car parking to other uses over time.

Building Separation

- Ensure buildings are well spaced and sited to avoid visual bulk and provide equitable access to an outlook, good daylight and views to the sky above the street wall.
- Buildings may be constructed to the boundary wall to a height of 8m (two storeys) above the street wall height.
- For sites with a frontage of less than 20m, development may be constructed to a side boundary above the boundary wall height where:
 - the adjoining site has a blank boundary wall; or
 - the proposed side wall is well articulated, does not run the full length of the boundary and does not result in a continuous wall of buildings when viewed from the street.
- For sites with a frontage of 20m or greater, buildings should achieve the separation distances outlined in Table 1.

Overall height of the building	Minimum setback from boundary or laneway centreline	Minimum building separation where there are multiple buildings on a site
1-3 levels above the boundary wall height	3m	6m
4 or more levels above the boundary wall height	4.5m	9m

Table 1 - Building separation distances

- For sites with multiple buildings, refer to the separation distances in Table 1.

Pedestrian entrances and bike parking

- Ensure pedestrian entrances are clearly visible, secure and have an identifiable sense of address.
- Provide well-designed bicycle infrastructure and end-of-trip facilities.

Actions

- 5.2.1 Introduce and implement built form recommendations for the Cremorne West Precinct, Railway Precinct and Church Street Precinct in the proposed planning scheme amendment for Cremorne addressing:
- Sustainable buildings
 - Adaptable buildings
 - Building Separation
 - Pedestrian entrances and bike parking.

Objective 5.3 Ensure the scale and form of buildings respond to their context.

New development must be responsive to its context including the neighbouring buildings, the character of the street and the broader Cremorne context.

Supporting mid-rise building heights

The proposed building heights range between 3 and 10 storeys (12m-40m). All heights are proposed to be preferred (discretionary) heights (i.e. they can be varied where meet specific criteria).

Building heights are taller along main streets (Cremorne Street, northern end of Stephenson Street and Church Street) and reduce towards low-scale residentially zoned areas and in response to the narrow width of streets and laneways.

Heights of buildings at the street edge

The height of buildings at the street edge has a direct impact on the experience of pedestrians within the street. These are known as street wall or podium heights.

The proposed street wall heights respond to the narrow street network in Cremorne – they maintain a 1:1 to 2:1 relationship between the width of the street and street wall height. This height helps to ensure the street feels comfortable to the person on the street (sense of human scale) and is not overwhelmed by buildings.

Street wall heights of between 2 and 4 storeys (8m and 16m) are proposed to respond to the street network in Cremorne and to maintain solar access to key streets. Higher heights of 4 storeys apply on the wider streets of Cremorne Street and Church Street.

Setting back upper levels, above the street wall, provides a clear delineation between the street wall and upper levels. They also help to reinforce a comfortable scale for pedestrians at street level while ensuring access to daylight and views to the sky.

Upper level setbacks of 3m and 5m are generally proposed. Upper level setback requirements increase as buildings get taller. Additional upper level setbacks will be required in specific locations to meet any solar access requirements.

Ensuring well designed buildings

New developments in Cremorne will be high quality and display design excellence. New buildings on large sites will need to be designed to avoid big bulky forms by providing visual breaks, changes building massing and separation between buildings at the street and upper levels.

The design of the street wall should reflect the prevailing pattern of subdivision, buildings in the surrounding context and also be broken up. Buildings should be expressed 'in the round' and avoid blank walls.

Retaining Cremorne's character buildings

Character buildings include pubs, factories, warehouses and offices which are not protected through the heritage controls in the planning scheme but contribute to Cremorne's visual identity and character.

They have not been individually identified as part of the draft UDF but include buildings which meet some or all of the following criteria:

- architecturally distinctive
- demonstrate a link to the industrial history of the area



Image 51 - Former industrial brick warehouse

- have a three dimensional form of the building can be seen from the public domain.
- contains interesting detailing and provides visual interest at street level
- large window openings, with the potential for a positive interface with the public domain.

The retention and reuse of these buildings is encouraged as part of any redevelopment. They can also provide alternatives to new developments and offer more affordable spaces for businesses.

Transitions to low-rise residential areas

There are four residentially zoned areas that abut the taller commercial precincts – three residential precincts within Cremorne and one outside the precinct to the east – the Brighton Street residential area.

It is important that built form transitions in scale at these sensitive interfaces to minimise amenity impacts on surrounding areas, including overlooking, overshadowing and visual bulk.

Different interface controls are proposed depending on the context and include direct interfaces (where properties share a common boundary) or laneway interfaces (where properties are separated by a laneway typically 3m wide or less). Lower heights and/or a setback requirement (which guides overall heights and maximum heights of walls on boundaries) are proposed to apply in these locations.

High visibility interfaces

Parts of Cremorne are highly visible from the southern side of the river and the elevated railway line which cuts through the centre of the precinct. That means that buildings facing the railway or are visible from the river's edges must be particularly well designed.



Image 52 - Yarra River corridor

Design objectives

- To design buildings that respond to the form of neighbouring buildings.
- To ensure that overall heights are responsive to the width and character of the street.
- To minimise visual bulk at street level by providing street walls and overall heights that are responsive to the width and character of the street.
- To provide upper-level setbacks above the street wall that allow for a clear delineation between the street wall and the upper levels.
- To protect the amenity of properties in adjoining residential zones in terms of overshadowing of private open space and overlooking.
- To support development that contributes positively to the urban and heritage warehouse character of Cremorne.
- To avoid expansive building forms and excessive visual bulk.

Recommendations

Overall building heights

General

- Refer to preferred maximum building heights shown in Figure 44: Cremorne West & Railway Precincts and Figure 45: Church Street Precincts.

Precinct specific

- Church Street Precinct - Proposed building heights are between 5 and 10 storeys (20m and 40m) with the highest heights along Church Street and reducing along narrow streets and laneways to the east and west. Heights also reduce close to sensitive low-scale areas to the east and north-west.
- Cremorne West Precinct - Proposed building heights are between 3 and 9 storeys (12m and 36m) the highest heights apply on the northern end of Stephenson Street along the elevated railway line (9 storeys) and also along Cremorne Street (8 storeys). Heights reduce close to sensitive low-scale areas to the south and west.
- Railway Precinct - Proposed building heights are between 5 and 7 storeys (20m - 28m) to provide a human-scale along streets and laneways.

Street Wall Heights

General

- Ensure street walls are designed to reinforce an appropriate scale for pedestrians along streets and laneways and include architectural detailing such as high quality tactile materials and depth and articulation to ensure an engaging pedestrian experience.
- Refer to preferred maximum street wall heights shown in Figure 44: Cremorne West and Railway Precincts and Figure 45: Church Street Precinct.

Precinct specific

- Church Street Precinct – Street wall heights of 3-4 storey (12m-16m) are proposed with a taller four storey street wall on Church Street.
- Cremorne West – The street wall height varies from 2-4 storey (8m-16m). A four storey street wall height applies to Cremorne Street.
- Railway Precinct - A 3 storey (12m) street wall height is proposed.

Upper Level Setbacks

- Provide upper level setbacks above the street wall to reduce the visual impact of buildings experienced from the street.
- Refer to preferred minimum upper level setbacks in Figure 44: Cremorne West and Railway Precincts and Figure 45: Church Street Precincts.

Interface to properties in Neighbourhood Residential Zone (NRZ) or General Residential Zone (GRZ)

- Protect the amenity of existing residential properties in terms of visual bulk, overshadowing of private open space and overlooking.
- Provide a setback of 3m at direct interfaces to create a buffer at these sensitive edges.
- Apply a 2 storey (8m) maximum wall height with an upper level setback of 45 degrees (up to a minimum distance of 12m).
- Provide a maximum of two steps in building form to avoid overly stepped outcomes.
- Refer to preferred heights and setbacks in Table 2.

Interface	Setback	Maximum wall height	Upper level setback
Laneway residential	NA	2 storeys (8m)	45 degrees to a distance of 12m
Direct residential	3m	2 storeys (8m)	45 degrees to a distance of 12m

Table 2 - Residential interfaces

Figure 41 - Laneway residential interface

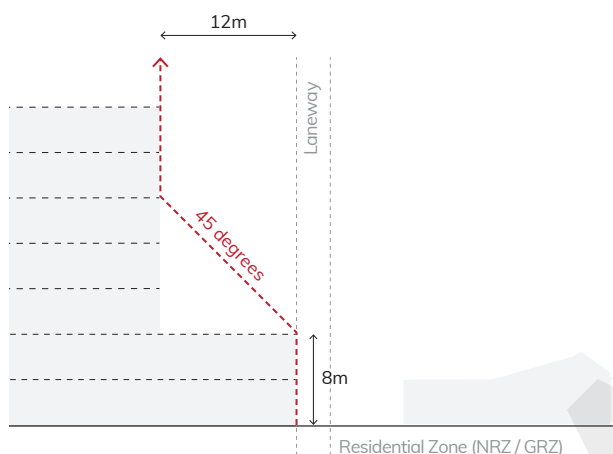


Figure 42 - Direct residential interface

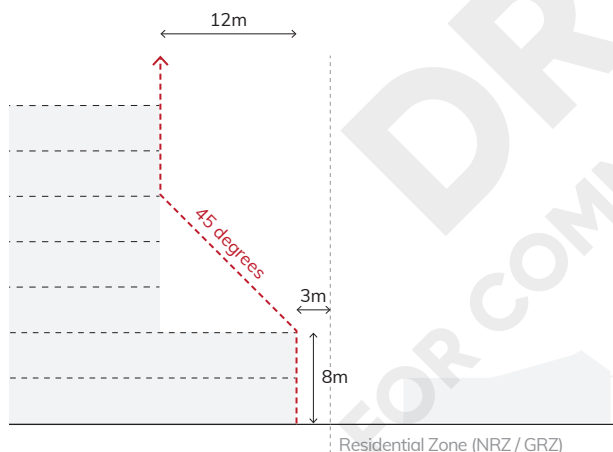
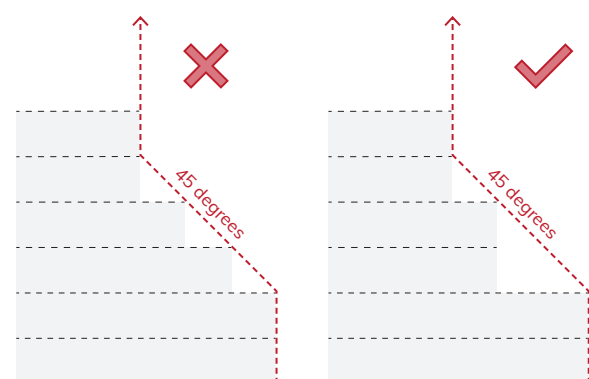


Figure 43 - Upper level setback stepping (unacceptable / preferred)



Character buildings

- Facilitate development that supports the adaptive reuse of character buildings.
- Reinforce the industrial character of Cremorne through designs which use robust materials and references industrial typologies.

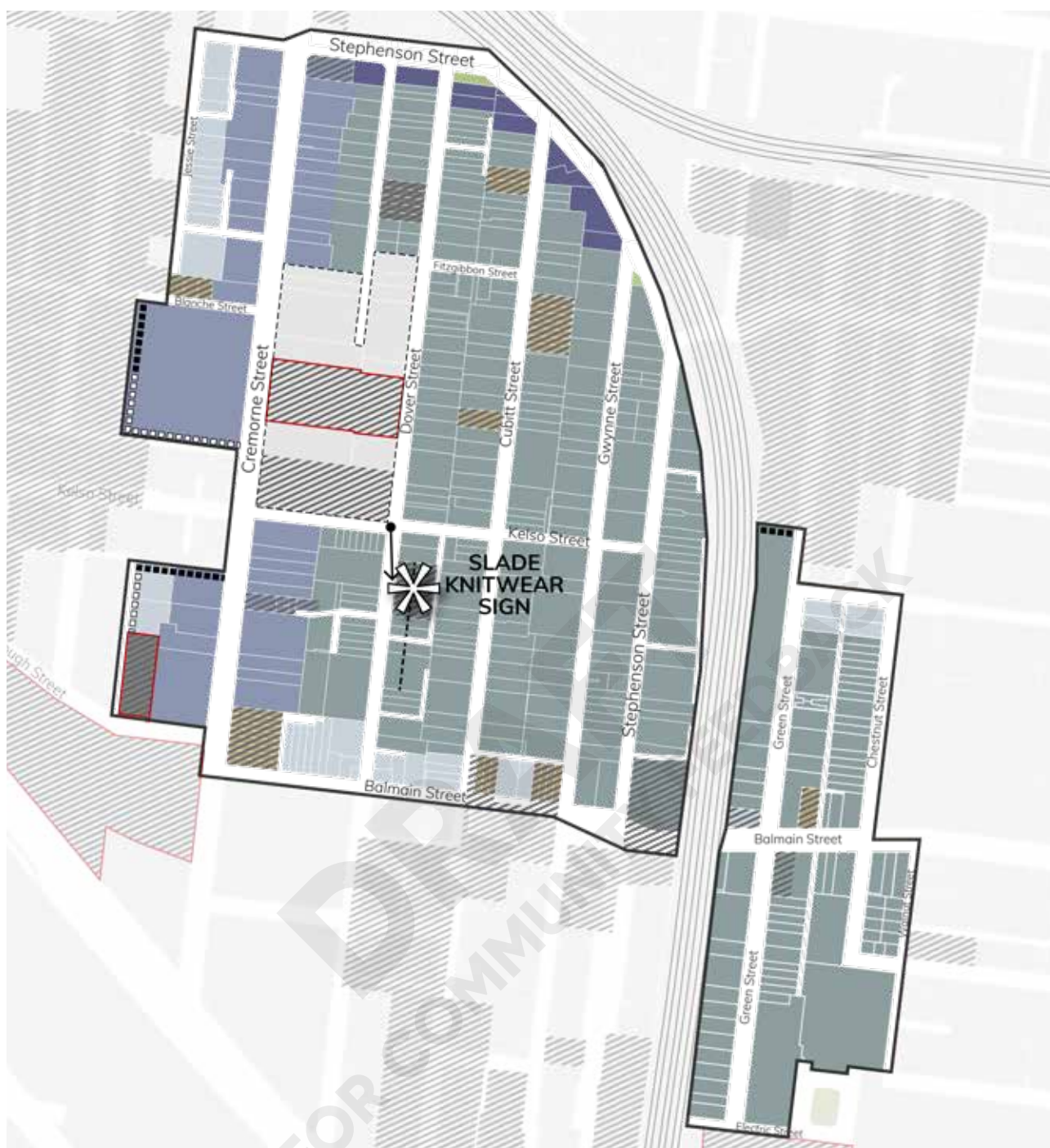
Building design

- Create well-designed building edges and facades on buildings that are visible from the elevated railway line or Yarra River (Birrarung).
- Buildings on larger sites are to be broken up into a series of smaller building forms that contribute positively to their context and their historic urban grain.
- Avoid continuous walls of buildings when viewed from street level by providing visual breaks, articulated massing and/or separation between building forms at street level and upper levels.
- Avoid blank walls visible from the public realm. Where a solid external wall is unavoidable, walls should be detailed and include articulation to provide for visual interest.

Actions

5.3.1 Introduce and implement built form recommendations for the Cremorne West Precinct, Railway Precinct and Church Street Precinct in the proposed planning scheme amendment for Cremorne addressing:

- Overall building heights
- Street wall heights
- Upper-level setbacks
- Interfaces to properties in residential zones (NRZ and GRZ)
- Character buildings
- Building design.



- Precinct boundary
- Strategic sites
- Heritage Overlay
- Victorian Heritage Register
- Residential laneway interface
- Residential direct interface
- ✱ Slade Knitwear Sign (HO343)
- Primary view location
- Upper level setback (11m)
- Limited development opportunity

	Maximum overall building height	Maximum street wall height	Minimum upper level setback
	36m (9 storeys)	16m (4 storeys)	3m
	32m (8 storeys)	16m (4 storeys)	5m (subject to solar)
	28m (7 storeys)	12m (3 storeys)	3m
	20m (5 storeys)	12m (3 storeys)	3m 5m (Balmain Street / Jessie Street)
	12m (3 storeys)	---	---

For sites within the Heritage Overlay or adjacent to a site in the HO, refer to Objective 5.4.

Figure 44 - Cremorne West and Railway Precinct - building heights, street wall heights and upper level setbacks

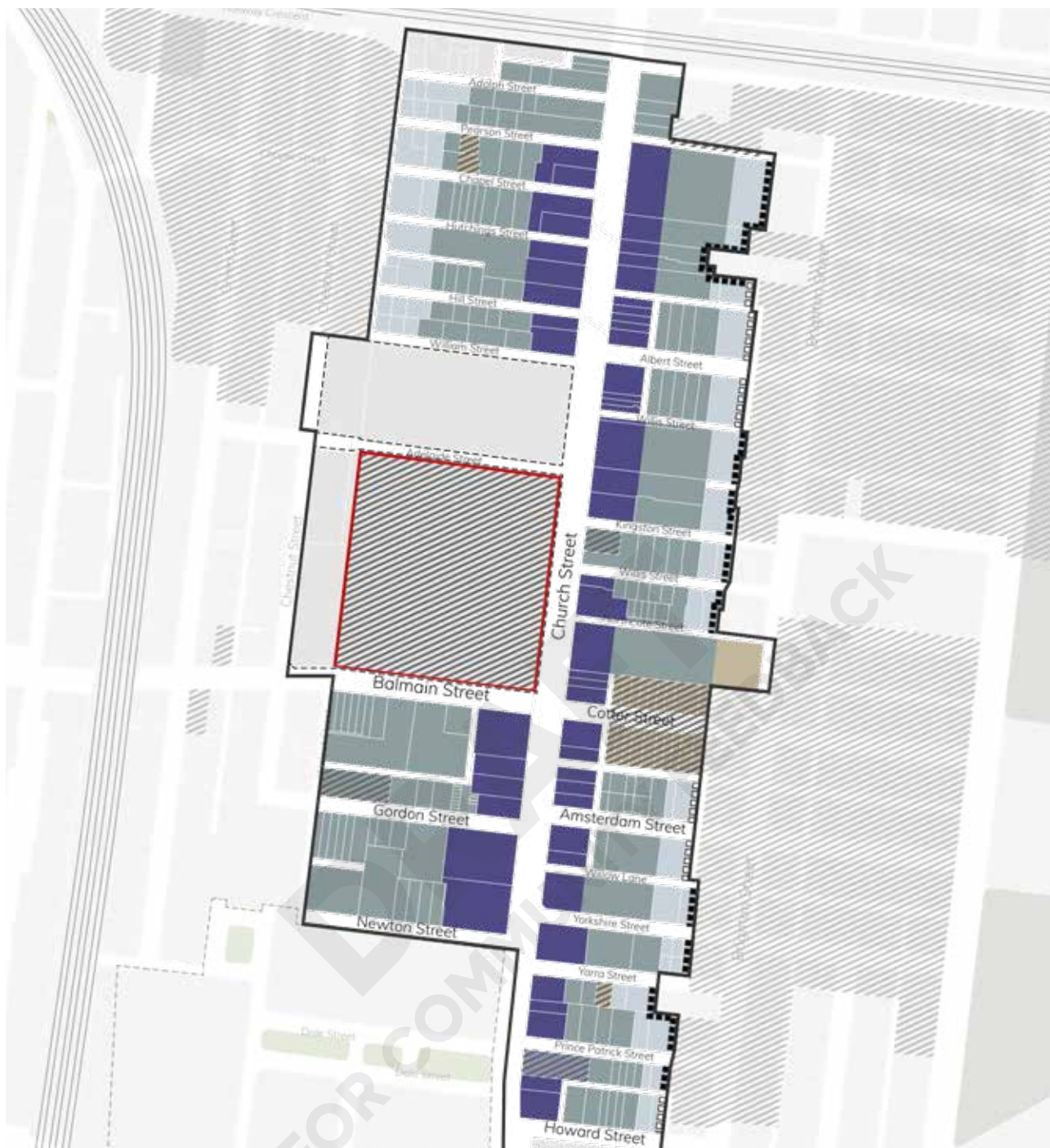


Figure 45 - Church Street Precinct - building heights, street wall heights and upper level setbacks

Objective 5.4 Showcase Cremorne's diverse heritage buildings.

Cremorne's heritage buildings reflect its industrial and residential past. They are comprised of a number of locally significant heritage places (industrial, commercial and residential) and some industrial buildings of state significance that are included on the Victorian Heritage Register (VHR). New development should respect the scale and context of these important buildings.

Retaining the prominence of heritage buildings

Given there are relatively few heritage buildings and places in Cremorne, the proposed built form controls are designed to ensure heritage buildings retain their prominence.

Careful design responses that are tailored to the specific characteristics of the different building typologies are required. For example, residential heritage buildings have ground floor street setbacks with front gardens, whereas industrial heritage buildings are built to the street edge.



Image 53 - Slade Knitwear sign

Specific metrics have been developed to help retain the identified original fabric of the buildings, including the principal façade, primary roof form and chimneys.

Sites adjacent to heritage buildings

The proposed built form controls also apply to sites adjacent to the heritage buildings and places to ensure an appropriate transition to the heritage building and its setting.

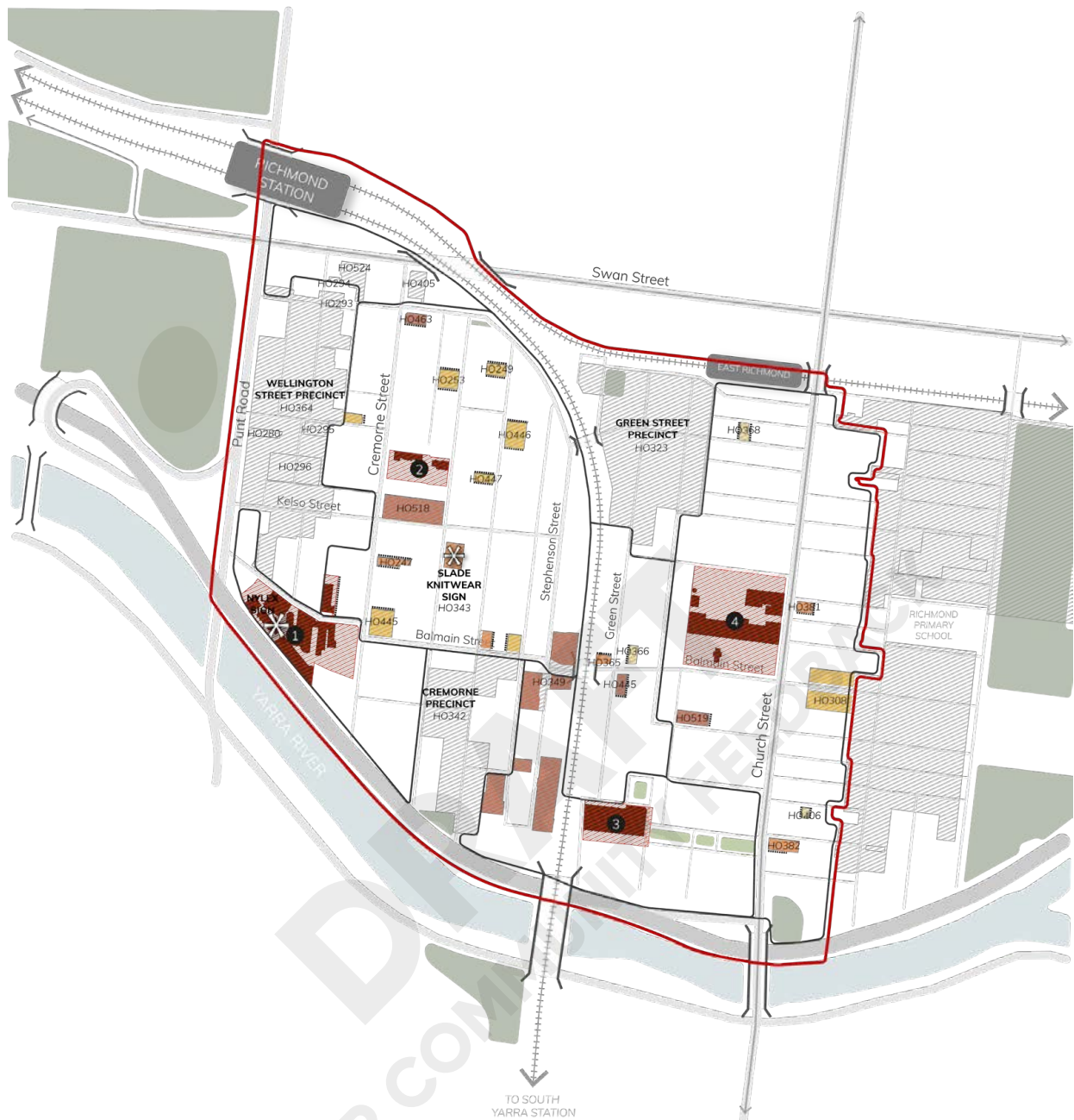
Landmarks

The Nylex sign is of social and heritage significance for its landmark qualities. The sign dominates the view along Punt Road and Hoddle Streets. Because of its location at the entrance to the Monash Freeway (CityLink) the Nylex sign is considered the unofficial gateway into Melbourne from the south.

While locally significant views in Balmain Street are obscured by development, it is still visible at a distance from its significant viewpoints. The primary view for the sign identified for protection in the Yarra Planning Scheme is from the eastern footpath of the Morell Bridge (to the north-west within the City of Melbourne). This view is from outside of Yarra and has been enshrined in the development approval for the Richmond Maltings site. The planning approval for the site includes raising the sign by 15 metres.

The Slade Knitwear sign is another landmark commercial sign identified in the Yarra Planning Scheme. The sign is clearly legible from the intersection of Kelso and Dover streets. This significant view is proposed to be protected in the proposed built form controls.

Any development on the site and to the south will be required to set back above the street wall to retain the view of the sign with clear blue skies behind it. This setback is proposed to be a mandatory control.



- Heritage Overlay (HO)
- Victorian Heritage Register (VHR)
- Building footprint (VHR)
- Municipal Landmark
- Sites adjacent to heritage
- Residential typology (detached)
- Residential typology (attached)
- Commercial typology
- Industrial typology
- 1 Richmond Maltings
- 2 Cremorne Primary School
- 3 Richmond Power Station
- 4 Bryant & May Industrial Complex

Figure 46 - Heritage buildings and precincts within Cremorne

Cremorne's heritage typologies



Image 55 - 75 Balmain Street

Residential (detached) Heritage

There are several detached residential buildings of significance, ranging in scale from one to two storeys.

- 6 Yarra Street - House (HO406)
- 75 Balmain Street - Olinda House (HO366)
- 11 Chapel Street & 10 Pearson Street - House & Stables (HO368)



Image 54 - 137-151 Cremorne Street

Residential (terrace) Heritage

Residential terrace buildings included within the Heritage Overlay are setback from the street boundary, varying in depth from shallow verandas to deeper front gardens.

- 137-151 Cremorne Street - Wilford Terrace (HO445)
- 16-18 Cubitt Street - Terraces (HO249)
- 21-33 Cubitt Street - Terraces (HO446)
- 58-60 Cubitt Street - Terraces (HO447)
- 30-38 Dover Street - Hurst Terrace (HO253)



Image 56 - 533 Church Street

Commercial Heritage

Commercial typologies that are located within the Heritage Overlay vary from single storey shop fronts to prominent corner hotels.

- 69 Balmain Street - Grocer's Shop & Residence (HO365)
- 119 Cremorne Street - Former Yarra Hotel (HO247)
- 619 Church Street - Prince Alfred Hotel (HO382)
- 533-537 Church Street - Alexander Miller's Shops & Residences (HO381)



Image 57 - Former Cremorne Primary School

Institutional heritage

There is only one institutional heritage building remaining in modern day Cremorne.

- 55-67 Cremorne Street - Former Cremorne Primary School No. 2084 (HO246 and VHR H1634) (part of the BKI Strategic Site)

Cremorne's heritage typologies



Image 58 - 80-82 Balmain Street



Image 60 - Former Richmond Power Station



Image 59 - Slade Knitwear sign



Image 61 - Nylex Sign

Industrial Heritage

Former industrial buildings in Cremorne range from large scale complexes such as Bryant and May and Rosella to smaller scale factories buildings such as the former Nuttalex and Kelmbro factories.

- 80-82 Balmain Street - Former Kelmbro Factory (HO367)
- 9-11 Cremorne Street - Former Factory (HO463) (redeveloped)
- 1-9 Gordon Street - Former Factory (HO519) (redeveloped)
- 64 Balmain Street - Rosella Factory Complex (HO349) (part of the Rosella Strategic Site)
- 85-99 Cremorne Street - Former Melbourne Wire Works (HO518) (part of the BKI Strategic Site)
- 560 Church Street - Former Bryant and May complex (HO240 and VHR H626) (part of the Bryant and May Strategic Site)
- 15 Gough Street - Richmond Maltings (HO350 and VHR2050)
- 658 Church Street - Former Richmond Power Station (HO279 and VHR H1065) (part of the 658 Church Street Strategic Site)

Municipal landmarks

There are two municipal landmarks identified in Cremorne.

- 105-115 Dover Street - Slade Knitwear sign (HO343)
- Gough Street - Nylex Sign (HO350 and VHR H2049) (part of the Maltings Strategic Site)

Design objectives

- To ensure the valued built form heritage and character of Cremorne is recognised.
- To enhance the setting of heritage buildings.
- To maintain the prominence of existing heritage buildings within sites.
- To retain the visibility of significant architectural features from the public realm.
- To protect primary views to municipal landmarks within Cremorne.

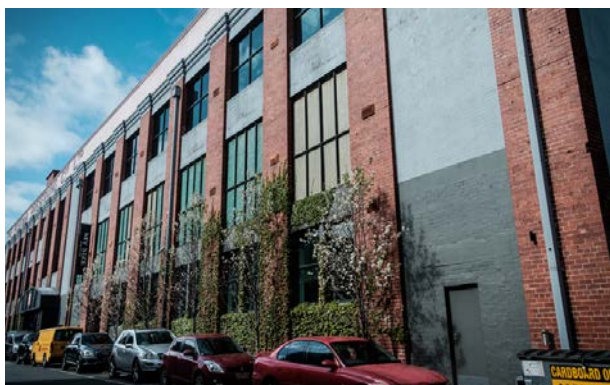


Image 64 - Rosella Complex Palmer Parade



Image 63 - Prince Alfred Hotel Church Street



Image 62 - Former Yarra Hotel Cremorne Street

Recommendations

Municipal Landmarks

- Maintain the visual prominence and protect the clear sky views of the:
 - Nylex Sign when viewed from the centre of eastern footpath of the Morell Bridge.
 - Slade Knitwear Sign when viewed from the footpath on the north-west corner of Dover Street and Kelso Street.
- For the Slade Knitwear site at 105-115 Dover Street and sites to the south of the Slade Knitwear sign at 117-129 Dover Street, the upper levels of development must be set back 11m above the street wall.

Heritage buildings

Heritage buildings identified on Figure 46 should meet the following:

General

- Retain existing heritage fabric to retain the three dimensional form as viewed from the public realm and to avoid dominating the heritage place and facadism.
- Ensure facade heights of infill developments within a Heritage Overlay match the parapet height of adjoining heritage buildings to ensure new built form responds to heritage context.
- Ensure building additions are distinguishable from the existing heritage fabric.
- Use high-quality materials that complement the materiality of the existing fabric heritage fabric.

Site specific

- Residential (detached) heritage refer to Table 3
- Residential (attached) heritage refer to Table 4
- Commercial heritage refer to Table 5
- Industrial heritage refer to Table 6

Sites adjacent to heritage buildings

Buildings within interfaces to heritage buildings identified on Figure 46 should meet the following:

General

- Overall building heights create a transition between new buildings and existing buildings.
 - Apply ground floor street setbacks that align with neighbouring buildings to retain oblique views along the street, where identified.
 - Apply side setbacks that allow heritage buildings with 'side' features to be viewed from the public realm, where identified.
 - Ensure street wall heights match the parapet height of adjacent heritage buildings to create a transition between forms.
- Apply upper level setbacks that allow significant architectural features to remain visible.
 - Design side interfaces to minimise visual bulk to adjacent heritage buildings.
 - Use high-quality materials that are complementary to the materiality of the existing heritage fabric.

Actions

5.4.1 Introduce and implement built form recommendations for the Cremorne West Precinct, Railway Precinct and Church Street Precinct in the proposed planning scheme amendment for Cremorne addressing:

- Municipal landmarks
- Heritage buildings
- Sites adjacent to heritage buildings.

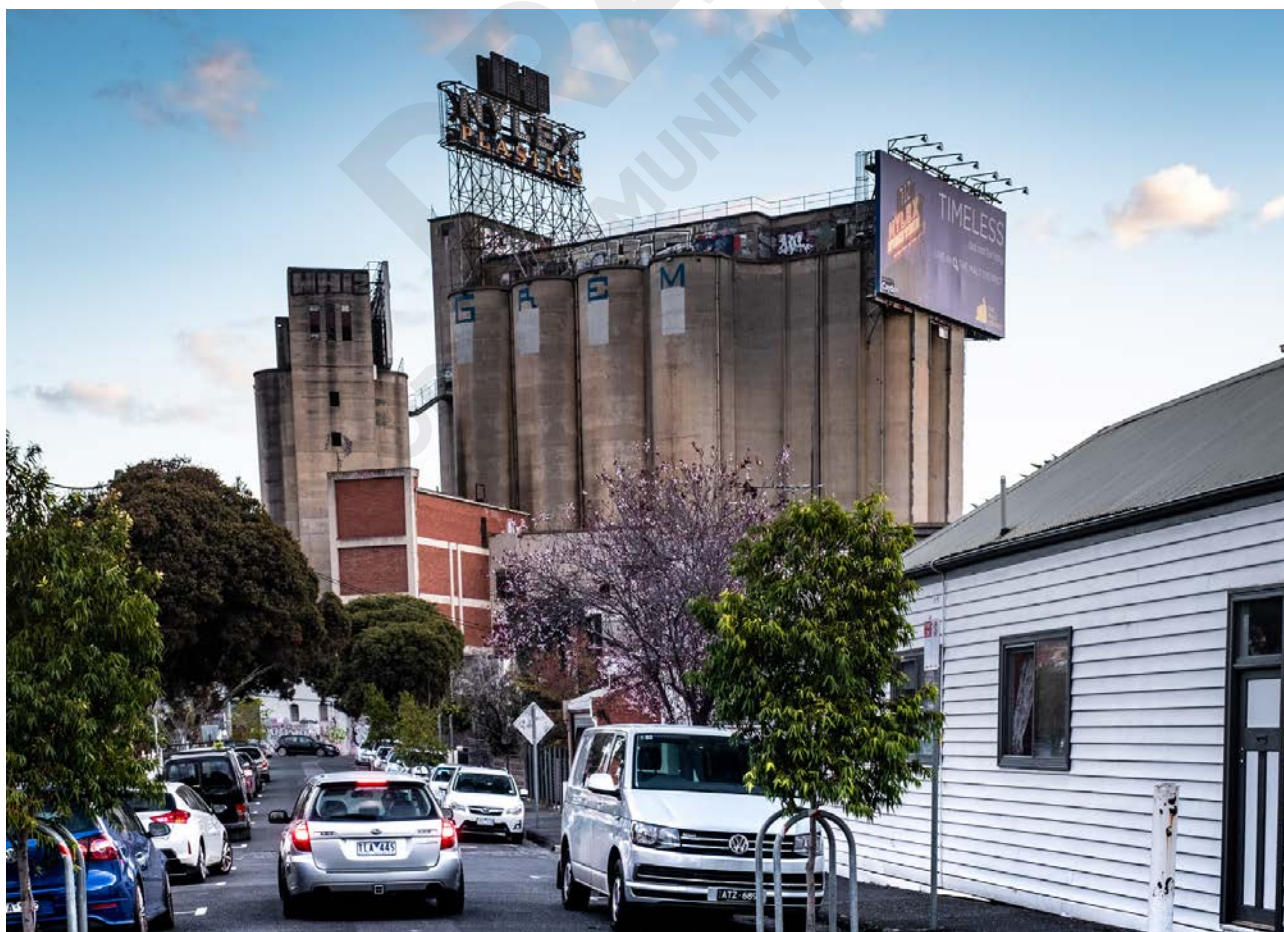


Image 65 - Nylex sign viewed from Melrose Street

Heritage buildings

Residential (detached)

Heritage buildings / places	Built Form Element	Recommendation
6 Yarra Street - House (HO406) 75 Balmain Street - Olinda House (HO366) 11 Chapel Street & 10 Pearson Street - House & Stables (HO368)	Retention of existing heritage fabric	6 Yarra Street & 75 Balmain Street - Retain heritage fabric to a depth of two front rooms (approximately 9m) 11 Chapel Street & 10 Pearson Street - At minimum, retain the eastern and southern façade of rear stables along with the roof form
	Street wall height (infill development within the Heritage Overlay)	11 Chapel Street & 10 Pearson Street - Match eaves
	Upper level setback (development within the Heritage Overlay)	Set new development back behind the heritage form to retain the full extent of original roof form
	Maximum overall building height (development within the Heritage Overlay)	12m (3 storeys)

Table 3 - Residential (detached) heritage recommendations

Residential (terrace)

Heritage buildings / places	Built Form Element	Recommendation
137-151 Cremorne Street - Wilford Terrace (HO445)	Retention of existing heritage fabric	Retain heritage fabric to a depth of two front rooms (approximately 9m)
16-18 Cubitt Street - Terraces (HO249)		16-18 Cubitt - Retain the full double gable length of the terrace.
21-33 Cubitt Street - Terraces (HO446)	Upper level setback (development within the Heritage Overlay)	Set new development back behind the heritage form to retain the full extent of original roof form.
58-60 Cubitt Street - Terraces (HO447)		21-33 Cubitt Street - Setback so built form rests within a continuing roofline from the terrace below.
30-38 Dover Street - Hurst Terrace (HO253)	Maximum overall building height (development within the Heritage Overlay)	12m (3 storeys)

Table 4 - Residential (terrace) heritage recommendations

Heritage buildings

Commercial

Heritage buildings / places	Built Form Element	Recommendation
69 Balmain Street - Grocer's Shop & Residence (HO365) 119 Cremorne Street - Former Yarra Hotel (HO247) 619 Church Street - Prince Alfred Hotel (HO382) 533-537 Church Street - Alexander Miller's Shops & Residences (HO381)	Retention of existing heritage fabric	Retain the full roof form and full volume of principal building form 69 Balmain Street – 10m depth 119 Cremorne Street - Retain entire heritage building including all chimneys and roof form (no removal of original fabric) 619 Church Street - Retain entire heritage building 533-537 Church Street – Retain a minimum of 7 metres of original fabric to maintain side parapet stepped form
	Upper level setback (development within the Heritage Overlay)	Set new development back behind the heritage form 119 Cremorne Street - 12m with two upper most storeys set back an additional 3m 619 Church Street - Set any new addition back minimum 12m from Church Street 533-537 Church Street – Retain approximately 7m minimum of original fabric to maintain side parapet stepped form
	Maximum overall building height (development within the Heritage Overlay)	See Figure 44 and Figure 45
	Street wall height (infill development within the Heritage Overlay)	619 Church Street - Match the parapet height of heritage building 533-537 Church Street - 8 metres (two storeys)
	Upper level setback (infill development within the Heritage Overlay)	69 Balmain Street – 3 metre minimum to Balmain Street 619 Church Street – 3 metre minimum to Prince Patrick Street 533-537 Church Street - 3 metre minimum to Kingston Street

Table 5 - Commercial heritage recommendations

Industrial

Heritage buildings / places	Built Form Element	Recommendation
80-82 Balmain Street - Former Kelmbro Factory (HO367)	Retention of existing heritage fabric	Retain significant fabric and two structural bays from the primary Balmain Street frontage
	Upper level setback (development within the Heritage Overlay)	Set back by at least two windows section along Green Street (approximately 7 metres) and Balmain Street (approximately 5 metres)
	Maximum overall building height (development within the Heritage Overlay)	See Figure 44 and Figure 45
	Street wall height (infill development within the Heritage Overlay)	Match the parapet height

Table 6 - Industrial heritage recommendations

Sites adjacent to heritage buildings

Residential (detached)

Properties adjacent to heritage buildings / places	Built Form Element	Recommendation
6 Yarra Street (HO406) 75 Balmain Street (HO366)	Street wall / front setback	Match front setback for a minimum length of 6 metres
	Side setback	6 Yarra Street - Set the whole building back 2.5 metres from the side property boundary for 6 metres on the eastern boundary only, to reveal side wall stonework
	Upper level setback	75 Balmain Street – Set upper levels (above the two storey street wall) back 9 metres to match Olinda House

Table 7 - Sites adjacent to residential (detached) heritage recommendations

Residential terrace

Properties adjacent to heritage buildings / places	Built Form Element	Recommendation
16-18 Cubitt Street (HO249) 58-60 Cubitt Street (HO447) 30-38 Dover Street (HO253)	Street wall setback / front setback	16-18 Cubitt Street – Match front setback match for minimum length of 6 metres
	Side setback	30-38 Dover Street - Set upper levels (above the street wall) back 2.5 metres from the side boundary for the depth of two front rooms to protect views to chimney 16 & 18 Cubitt Street - Set the whole building back 2.5 metres from the side property boundary for the length of the two gables to protect views of the side gables 58 & 60 Cubitt Street - Set the whole building back 2.5 metres from the side of the heritage building for the length of original roof form

Table 8 - Sites adjacent to residential (terrace) heritage recommendations

Commercial

Properties adjacent to heritage buildings / places	Built Form Element	Recommendation
69 Balmain Street (HO365) 119 Cremorne Street (HO247) 619 Church Street (HO382) 533-537 Church Street (HO381) 80-82 Balmain Street (HO367)	Street Wall Height	Match the parapet height of the heritage building for a minimum of 6 metres in length
	Upper Level Setback	Match the upper level setback of the heritage building for a minimum length of 6 metres

Table 9 - Sites adjacent to commercial heritage recommendations

Industrial

Properties adjacent to heritage buildings / places	Built Form Element	Recommendation
80-82 Balmain Street (HO367)	Street Wall Height	Match the parapet height of the heritage building for a minimum of 6 metres in length
	Upper Level Setback	Match the upper level setback of the heritage building for a minimum length of 6 metres

Table 10 - Sites adjacent to industrial heritage recommendations

Objective 5.5 Create blueprints for the redevelopment of strategic sites.

Cremorne includes a number of larger and more complex strategic sites which present development opportunities. However, these sites also present opportunities to realise community benefits including through site links, new walking and cycling connections and opportunities for much needed public open space.

The sites include the Bendigo Kangan Institute (BKI), the Bryant & May Complex, 167 Cremorne Street, Rosella Complex, 658 Church Street, 534 Church Street and the Richmond Maltings site.

Built form controls have not been developed for these sites as part of the draft UDF. However, the draft UDF includes design objectives for each of site which address important structural elements which would guide the redevelopment of the site. For example, potential locations for open space, through site links and interface issues.

The existing conditions of each was analysed and used to inform an overarching design vision and series of objectives for each site, generally addressing (where relevant):

- massing and height transition
- ground floor setbacks
- views to heritage buildings
- potential through site connections
- open space opportunities
- River corridor overshadowing.



Image 66 - 658 Church Street - Former Power Station



Image 67 - Bryant and May Complex

Further strategic work will be undertaken with landowners and Heritage Victoria, where sites are on the Victorian Heritage Register, to inform more detailed master planning of the sites. This will further explore built form parameters and consider planning scheme mechanisms. (Noting planning controls do not apply to the Department of Education owned BKI site, however a collaborative master planning process would still be undertaken.)

One planning mechanism that could be explored is the use of Floor Area Ratios (FARs). A FAR is a type of planning control that sets a specific amount of development that can occur on a site. The floor area ratio is the ratio of a new building's total floor area in relation to the size of the site it is being built on. For larger sites, a floor area ratio combined with other built form controls allows for variation in the height and shape of buildings while also enabling the delivery of new streets and open spaces.



Image 68 - Former Cremorne Primary School

Victorian Heritage Register

Four of these sites include significant heritage buildings that are on the Victorian Heritage Register:

- Richmond Maltings (noting the majority of the portion of the site it applies to is already developed)
- Bendigo Kangan Institute – Former Cremorne Primary School (HO246, VHR H1634)
- Former Bryant and May Industrial Complex (HO240, VHR H626)
- 658 Church Street – Former Richmond Power Station (HO279, VHR H1055).

There is an opportunity to showcase these spectacular heritage buildings in any redevelopment of the site. Given this it is critical that Council and landowners engage with Heritage Victoria to guide and support the heritage management of these State significant places.

Yarra River Corridor Protection

Four of the strategic sites are also affected by Schedule 1 to the Design and Development Overlay (DDO1), the Yarra (Birrarrung) River Corridor Protection overlay:

- Richmond Maltings (noting the majority of the portion of the site it applies to is already developed)
- 167 Cremorne Street
- The Rosella Complex (57 Balmain Street)
- 658 Church Street.

This DDO does not specify mandatory or discretionary requirements regarding building heights, however it applies an overshadowing requirement to three of the strategic sites interfacing the river. Buildings must not cast any additional shadow on the Yarra River between 11.00am and 2.00pm on 22 June (winter solstice).

In addition to considering overshadowing of the river, developments will also need to consider this highly visible interface. The Significant Landscape Overlay SLO1 also applies to some sites adjacent to the river and requires consideration of impacts on the river, removal of vegetation and visual impact (Refer to Theme 2).

Actions

- 5.5.1 Undertake further strategic work for each strategic site in conjunction with landowners and Heritage Victoria (as relevant) to inform detailed master planning.



DRAFT
FOR COMMUNITY FEEDBACK

Part Three: Precincts

This section details the vision for each precinct; Cremorne West, Railway, Church Street and Birrarung and strategic sites.

Part Three: Precincts

There are distinct commercial and residential precincts within Cremorne, each with its own individual characteristics and opportunities. This section details how the vision for Cremorne West, Railway, Church Street and Birrarung will be achieved through the application of the proposals and actions outlined in Part Two: The Framework. Where a strategic site is located with the precinct, a vision and objectives are described to guide future work.

Cremorne West Precinct

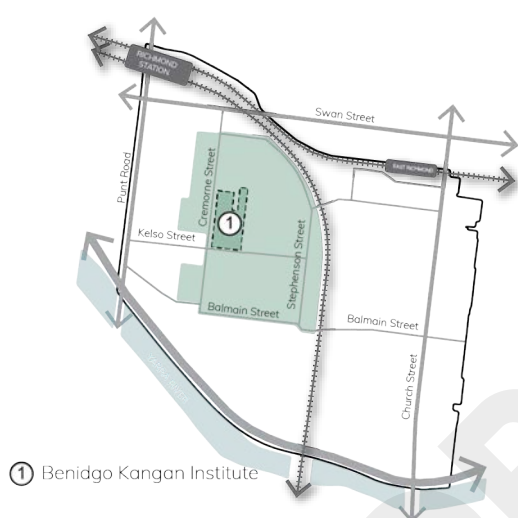


Figure 47 - Cremorne West Precinct

Existing Conditions

South of Richmond Station, bound by Stephenson Street to the north, Jessie Street and residential areas to the west, Balmain Street to the south and the railway corridor to the east. Cremorne Street forms the main north south corridor, with the Bendigo Kangan Institute Campus (BKI) at the centre. This precinct is characterised by a network of narrow one-way north-south streets. Predominantly, low-rise industrial, interspersed with residential terrace typologies with mid-rise contemporary office development. Recent development activity has shifted towards a scale of seven to eight storeys, with some larger sites accommodating up to nine storeys. Key heritage buildings include the Former Cremorne Primary School, Slade Knitwear sign, and clusters of residential terraces.



Image 70 - Stephenson Street low rise industrial



Image 69 - Bendigo Kangan Campus Cremorne Street

The Vision – Cremorne West

Cremorne West will form the **heart of the Cremorne 'Enterprise Precinct'** with diverse global and local creative and innovative businesses. It will be a vibrant and busy commercial precinct, with activity spilling out onto its streets.

Cremorne Street will be reimagined as a leafy pedestrian and cycle friendly spine linking Richmond Station to the Birrarung Precinct to the south. Buildings on larger sites will be set back off the street to provide space for widened footpaths, seating, greening and welcoming entrances to buildings.

Access will be improved to the **revitalised Richmond Station with an improved crossing at Swan and Cremorne Streets** and public spaces marking the entrance to Cremorne West from the Station Precinct.

The BKI Campus, at the heart of the precinct, will become a creative and digital education and community hub for the Enterprise Precinct. The campus will provide education facilities and new public spaces around the historic former Cremorne Primary School buildings which will welcome the wider community into the campus.

The Precinct will be characterised by **its eclectic mix of heritage terraces, industrial buildings and high quality contemporary commercial buildings** which respect the fine grain character and narrow streets. Taller buildings of eight to nine storeys will be focussed on Cremorne Street and Stephenson Street north along the railway line with heights transitioning down to the residential areas in the west and south of **the Precinct**.

Stephenson and Balmain Streets will also become important green walking and cycling corridors linking east and western Cremorne, punctuated by **small intimate public spaces to meet and rest**.

Activities and Land Use

- Cremorne West will further develop into a vibrant and busy commercial precinct supporting small innovative manufacturers to corporate head offices. Retail space and cafes will support the needs of people working and living in the area.
- Commercial buildings will provide high quality, flexible and adaptable workspaces.
- Developments will enhance and activate streets and laneways.
- The Bendigo Kangan Institute (BKI) Digital and Creative Skills campus lies at the heart of Cremorne Street. It will be enhanced as creative and digital education and community hub (refer to Objective 1.4 and Bendigo Kangan Institute – Strategic Site).

Movement and Access

- Access to the transformed Richmond Station Precinct will be improved. The crossing at Swan Street and Cremorne Street will be improved for pedestrians and bikes. New public spaces will mark the entrance to Cremorne West.
- Cremorne Street will be safer and more pleasant for all users due to reduced vehicle speeds and lower volumes of traffic. The street will be transformed into a pedestrian and cyclist friendly environment, linking Richmond Station to the Birrarung Precinct to the south.
- Through vehicular traffic will be discouraged on Cremorne Street, allowing essential service vehicles and destination trips only. Workers and visitors will walk and cycle safely within the precinct, with slow traffic speeds and redesigned streets.

Streets and Spaces for People

- Stephenson Street will provide an improved pedestrian experience linking Swan Street and Cremorne Street to the Dunn Street underpass. The landscaped street along the rail corridor will be interspersed by places to sit and meet.
- Buildings will provide generous entrances and integrated seating, with ground floor setbacks and landscaped spaces on larger sites where appropriate.
- A new small neighbourhood public open space will be located on the BKL Campus, creating a vibrant campus social and recreation space that draws the wider community into the site.
- New street trees and landscaping will contribute to the amenity of streets and ensure a climate ready precinct.



Image 71 - Cremorne Street streetscape activity



Image 72 - Former Yarra Hotel Cremorne Street

Design Quality

- Cremorne West will be recognisable by its eclectic mixed character of heritage terraces, industrial factories and other unique heritage buildings, juxtaposed with contemporary commercial buildings.
- Contemporary commercial buildings of eight to nine storeys along Cremorne Street and Stephenson Street (north) reinforce the industrial character of Cremorne West with their form and the materials used.
- Buildings reduce in height at the street edge to create a human-scale environment and ensure a high level of amenity along the narrow streets.
- Street walls of up to four storeys and upper level setbacks will maintain solar access to Cremorne Street ensuring attractive sunny footpaths.
- Heritage buildings on the BKL campus will be respectfully adapted to house new education and community facilities.
- Heritage and character buildings will be reused or sensitively redeveloped to retain the integrity of the building and celebrate the historic character of this precinct. Rows of Victorian era terraces will be retained and framed by new commercial development.
- Sky views behind the significant Slade Knitwear sign from Dover Street will be maintained through upper-level setbacks of the buildings on the site and to the south.



Figure 48 - Cremorne West framework

Bendigo Kangan Institute (Strategic Site)

The Bendigo Kangan Institute campus plays an important role in the long-term strategic future of the area. The site includes a series of institutional buildings, including State and locally significant heritage buildings, set within a carpark and landscape setting. There are limited links through the site.

Design objectives

1. Buildings range in height with building massing carefully located to ensure that views to the roofline of the former Cremorne Primary School remains prominent within the skyline.
2. A new small neighbourhood open space is located to the south of the former Cremorne Primary School (extending the full width of the building) that enhances and complements the existing building.
3. A new east-west link is provided to the north of the former Cremorne Primary School (minimum 10m wide) to provide space behind the school buildings when viewed from the south and link Cremorne and Dover Streets. A secondary east-west link is provided alongside the future open space. North-south connections to Dove Street are also enhanced.
4. A ground floor setback is provided to Cremorne Street (minimum 6m) that aligns with the building line of the former Cremorne Primary School and allows for the integration of seating and landscape at the street interface and welcomes the community in.
5. Public access to the existing open spaces within the site is improved.
6. Heritage buildings (Former Cremorne Primary School buildings and Former Melbourne Wire Works) will be reused or sensitively redeveloped to retain the integrity of the building and a sense of history. **NOTE - Council and landowners will need to engage with Heritage Victoria on buildings/places which are on the Victorian Heritage Register.)**

Vision

The Bendigo Kangan Institute is a **revitalized and vibrant campus at the heart of Cremorne West**, where students, industry and the community come to **learn and collaborate**. The campus will be connected to the wider community and businesses.

A series of **contemporary buildings** will be designed and located within a landscaped setting that will cement BKIs reputation as a critical educational institution within Cremorne. The new buildings will create a visually interesting skyline and streetscape around the Former Cremorne Primary School. **School buildings** are reused or sensitively redeveloped to retain the integrity and a sense of history of site.

A **new open space is located to the south of the Former Cremorne Primary School buildings**. Other new spaces will be created providing different experiences and fulfilling different needs. An **internal laneway network** is well-integrated into the surrounding street network drawing the public through the site.

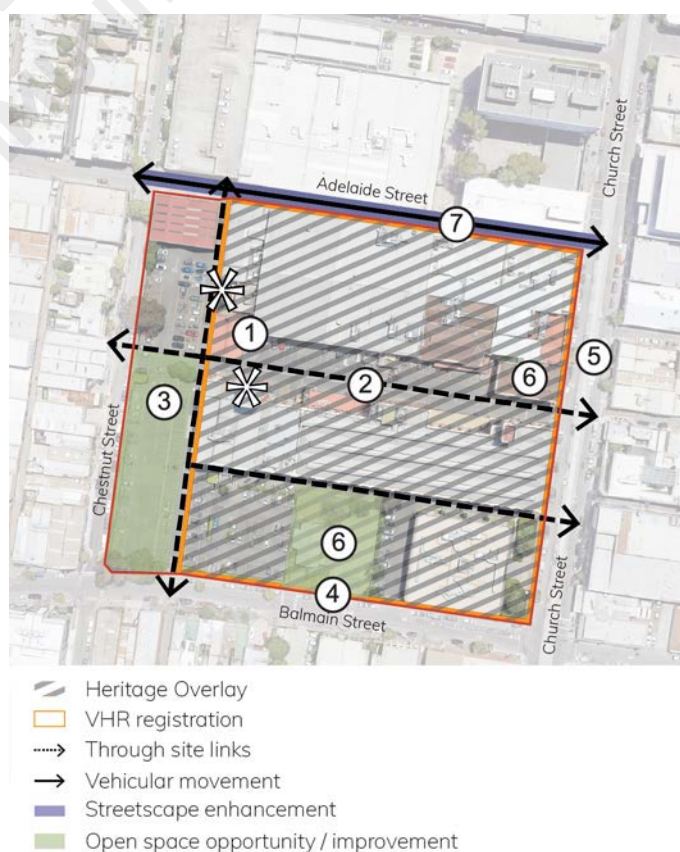


Figure 49 - Bendigo Kangan Institute design objectives

Railway Precinct

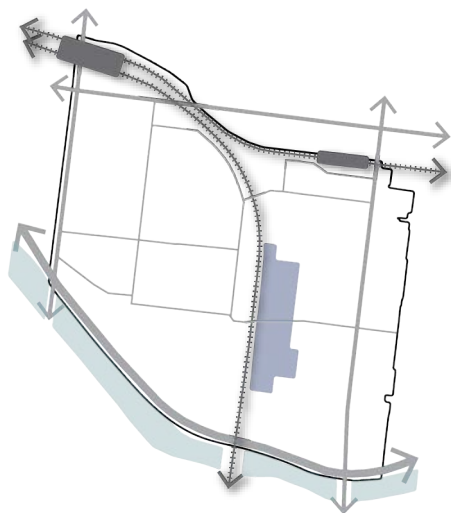


Figure 50 - Railway Precinct

Existing Conditions

Directly east of the railway line, Railway Precinct centres around the north south streets; Green Street and Chestnut Street. The precinct abuts the low scale leafy Green Street Residential Precinct to the north. Green Street is an important north south walking and cycling connection to Swan Street (via the underpass) and South Yarra and the Main Yarra trail (via the Oddys Lane and railway bridge). Sites are generally fine grain with the exception of large lots along the railway corridor. Buildings range in scale from one to four storeys with contemporary development at the southern end of Green Street. A group of individually significant heritage buildings define the intersection of Green Street and Balmain Street.

The Vision - Railway Precinct

Railway Precinct will be a **vibrant linear employment precinct**, between the railway corridor and Church Street Precinct, anchored by the **Cremorne Digital Hub** on Balmain Street.

Swan Street and the Yarra River corridor and surrounds will be easily accessible via **green north-south streets and upgraded underpass and bridge connections**.

Balmain Street and the underpass will provide safe and accessible connections to Cremorne West and Church Street with reduced vehicle speeds and traffic volumes, expanded footpaths and greening.

A sense of scale will be maintained in the narrow streets with a **street wall height of three storeys and overall heights of seven storeys**. Built form will transition in height to the north, respecting the low scale landscape character of the Green Street Residential Precinct.

The **cluster of heritage sites on Balmain and Green Streets, which includes Cremorne's Digital Hub will be enhanced** with new public spaces and development which is setback from the heritage buildings to enhance their prominence.

New public space along the railway corridor will provide space to meet and relax and provide green relief in a compact, busy precinct and form part of the green link south to Oddys Lane and the enhanced Yarra River crossing.

Activities and Land Use

- Railway Precinct will be a dynamic and vibrant employment area, home to a range of small to medium sized businesses.
- The Cremorne Digital Hub on Balmain Street will provide for education, research and innovation in the digital field and host a range of activities including training, research and business and industry events.

Movement and Access

- The Green Street and Chestnut Street green spines will provide safe north-south walking and cycling connections.
- A revitalised Oddys Lane and new pedestrian and cyclist access across the railway bridge will reconnect Cremorne to the Main Yarra Trail and across to South Yarra and surrounds.
- The precinct will be connected to the Cremorne West and Church Street precincts and wider area via the redesigned Balmain Street and widened railway underpass.



Image 74 - Proposed Cremorne Digital Hub Balmain St



Image 73 - Balmain Street underpass looking west

Streets and Spaces for People

- New public space on State Government (VicTrack) land along the railway corridor (south of Balmain Street) will provide opportunities for passive recreation and provide much needed greening for the precinct.
- New public space will be created around the intersection of Balmain and Kelso Streets at the Digital Hub.
- Streets will be further enhanced with additional tree planting.

Design Quality

- Contemporary commercial development up to seven storeys will reinforce the fine-grain industrial character and human scale of the precinct.
- Built form will transition to the north, respecting the low scale leafy character of Green Street Residential Precinct.
- Buildings along the railway corridor will be well designed and visually engaging to respond to the railway edge when viewed from the railway line.
- The unique mix of heritage buildings clustered around the Balmain Street and Green Street intersection will be retained with new commercial development set back behind the heritage forms.
- Views to the Former Richmond Power Station (VHR) south along Green Street will be enhanced.
- Sunlight to the southern footpaths of Balmain Street will be retained to enhance this important east-west pedestrian and cycling link.



Figure 51 - Railway Precinct framework

Church Street Precinct

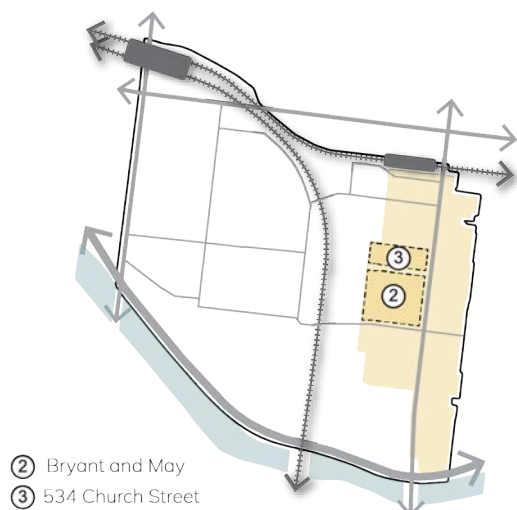


Figure 52 - Church Street Precinct

Existing Conditions

Extending from East Richmond Station, south to Howard Street, the Church Street Precinct is characterised by narrow streets and laneways extending east and west from the central Church Street arterial corridor. The precinct interfaces with low scale residential areas to the west (Green Street residential precinct) and east (surrounding Brighton Street). Church Street is a mixture of traditional shopfronts, corner pubs, landmark heritage buildings, large-format retail stores and contemporary office buildings. The urban character is not cohesive and architectural styles vary.



Image 75 - 534 Church Street commercial development

The Vision – Church Street Precinct

The Church Street Precinct will be a **thriving mid-rise retail and commercial corridor** with a mix of offices, company headquarters, showrooms, retail and cafes focussed on Church Street.

Church Street will provide a **treed transport link** between the Swan Street Activity Centre and the Yarra River with safe and attractive walking and cycling and accessible tram stops. Key east-west streets off Church Street will link the precinct to other parts of Cremorne and will be enhanced with kerb outstands, planting and improved footpaths.

East Richmond Station will be revitalised. Its prominence in the streetscape will be enhanced with improved accessibility from Church Street, Swan Street and the residential areas of Cremorne.

The precinct's character will continue to be **defined by modern development interspersed with large scale industrial heritage, corner pubs and other fine grained heritage buildings.** The key heritage buildings including remanent shops and corner pubs and also the landmark Bryant and May buildings will be showcased through sensitive redevelopment.

The Church Street spine will be defined by **taller buildings of up to ten storeys** with lower scale buildings in the side streets transitioning to the residential areas at its edges.

Activities and Land Use

- Church Street Precinct will be a thriving mid-rise area with a mix of commercial and retail uses ranging from headquarters and large office developments, high end retail and showrooms to cafes, restaurants and bars.
- Anchored by the Church Street high street corridor, this precinct will be distinct from the commercial core of Cremorne.
- Easy access is provided to the Swan Street Major Activity Centre with its mix of retail uses.

Movement and Access

- Church Street will provide for safe and efficient walking, cycling and public transport trips with redesigned accessible tram stops, dedicated cycle lanes and widened footpaths.
- A revitalised East Richmond Station to the north will serve the precinct and Swan Street, with enhanced connections from Church Street, Adolph Street and Swan Street from the north, with a new small local open space and station forecourt areas.
- Balmain and Cotter Streets will form safe east-west walking and cycling connections to the off-road paths and significant open spaces such as Barkly Gardens to the east.

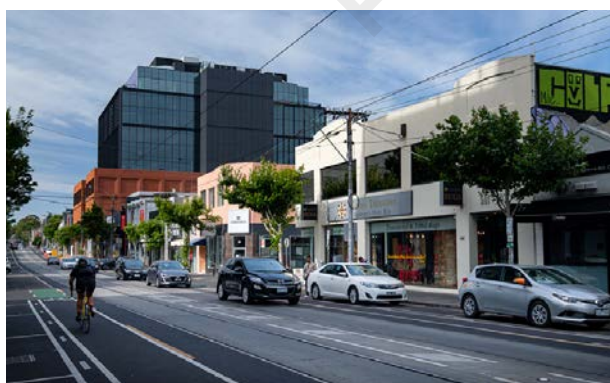


Image 76 - Church Street corridor

Streets and Spaces for People

- New street trees and landscaping will contribute to the amenity of streetscapes and ensure a climate ready precinct.
- Local east-west streets including Albert Street, Adelaide Street, Amsterdam Street, Gordon Street and Yorkshire Streets will be enhanced.

Design Quality

- Church Street will be characterised by a mix of buildings ranging in height up to ten storeys. The scale will reduce to seven storeys along narrow east west streets with five storey development respectfully transitioning to the low scale residential areas to the east and north-west.
- The retention of smaller scale heritage gems along Church Street including the two storey elaborate Baroque revival corner hotel and Edwardian shopfronts, interspersed with modern buildings, will retain the sense of history of the precinct.
- Engaging ground floor design, with generous entrances and integrated landscaping contribute to the 'high street' character and vibrancy of Church Street.
- Street walls of up to four storeys and upper level setbacks will maintain solar access to Church Street ensuring attractive sunny footpaths.
- A pedestrian scale is maintained along narrow east west streets, with lower street walls of three storeys.
- Development on the Bryant and May Street complex will ensure the historic building remain prominent in the street and wider precinct (refer Bryant and May – Strategic site).
- Publicly accessible through site links and new small local open space will integrate the Bryant and May complex into its surrounds and celebrate the industrial significance of the factory to Cremorne and Richmond.

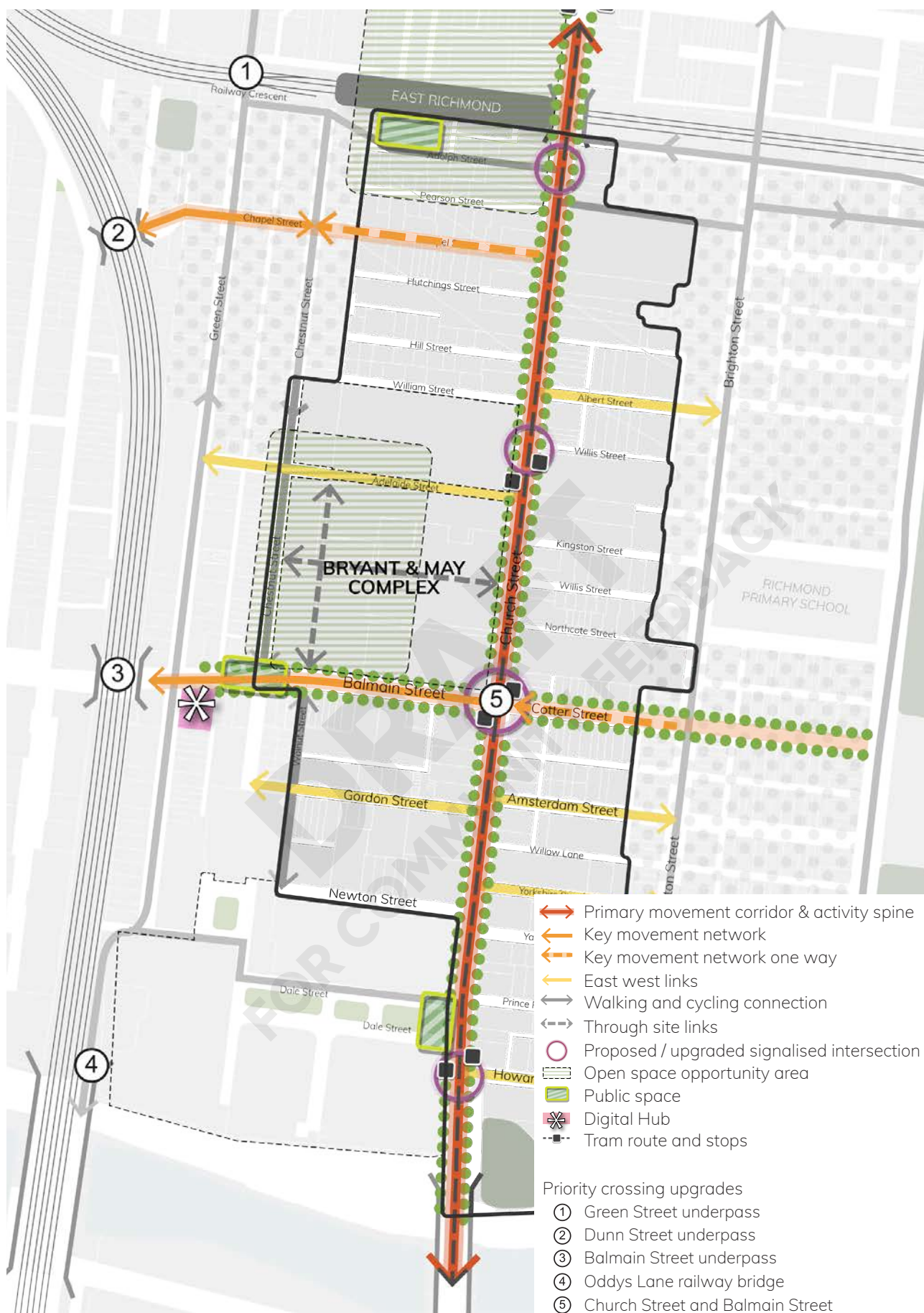


Figure 53 - Church Street Precinct framework

Bryant and May (Strategic Site)

The Bryant and May Former Industrial Complex site is an important part of Cremorne's industrial history as one of the first large-scale manufacturing businesses operating in Cremorne. The complex is also of State heritage significance. The Bryant and May Complex is a group of robust buildings set within grounds with large areas of at grade carparking. Taller elements such as the clocktower and chimney are highly visible from the immediate streets and contribute to the overall image of Cremorne.

Design objectives

1. Building massing is carefully located to ensure that heritage features remain prominent within the site including decorative facades, parapets and taller elements including the chimney and clocktower.
2. Through site links create a publicly accessible and legible network that connects to the broader street network and frames the heritage forms.
3. A new small local open space is provided on the western portion of the site to support the retention of key views.
4. A landscaped setback (minimum 6m) is provided at the Balmain Street and Chestnut Street interface which to contribute to an expanded public realm and provide for integrated seating and landscaping.
5. Additional overshadowing of Church Street (eastern footpath), Balmain Street (southern footpath) and open space within the site is avoided.
6. Heritage buildings will be reused or sensitively redeveloped to retain the integrity of the building and a sense of history. (NOTE - Council and landowners will need to engage with Heritage Victoria on buildings/places which are on the Victorian Heritage Register.)
7. Adelaide Street is reimagined as a green shared street that connects Church Street to the site and adjacent Railway Precinct.

Vision

The Bryant & May Complex will host high quality contemporary buildings sited and designed to **maintain the prominence of the State significant industrial complex** and to create a visually interesting skyline and streetscape surrounding the complex. **Views to the chimney, towers and prominent facades will be enhanced.**

Buildings are set within a **network of publicly accessible links and public spaces** that tie the site into the broader urban fabric of the Church Street Precinct and surrounds. Significant buildings are reused and sensitively redeveloped. The retention of the **tennis courts and pavilion** add to the sense of history of the site.

Adelaide Street is reimagined as a green shared street connecting Church Street to the Railway Precinct to the west. A landscape setback along Balmain Street enhances the landscape setting of the heritage tennis pavilion and provides opportunities for seating along the streetscape.

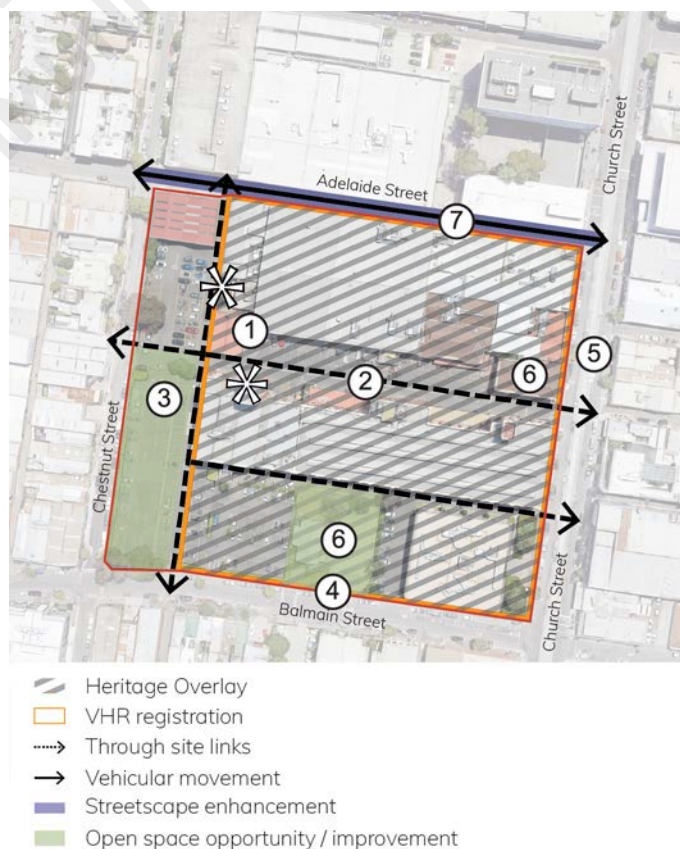


Figure 54 - Bryant and May design objectives

534 Church Street (Strategic Site)

A rectilinear, east-west site fronting four streets – Church, William, Adelaide and Chestnut. It is currently occupied by multiple buildings including a 7-storey office complex (fronting Church Street), single storey warehouses and a two-storey car park (fronting Chestnut Street). There is a limited amount of at-grade car parking within the site. The rear portion of the site occupied by the car park is zoned General Residential Zone (GRZ2).

Design objectives

1. Buildings at the Church Street interface transitioning down to the lower-scale character of the Chestnut Street Heritage Overlay.
2. A through site link aligned with Walnut Street is extended through the site and an additional north-south laneway is provided towards at the eastern end of the site.
3. A well-designed street wall creates a human-scale, active interface to Church Street, Adelaide Street and William Street. The Church Street interface is the primary interface and incorporates awnings, inset building entrances and integrated seating.
4. Overshadowing to Church Street (eastern footpath) is avoided.
5. Building massing will ensure that the Bryant & May clocktower and chimney remain prominent when viewed from Chestnut Street.
6. A landscape setback is provided to Chestnut Street in response to the character of the streetscape.
7. Adelaide Street is reimaged as a green shared street that connects Church Street to the site and adjacent Railway Precinct.

Vision

A series of **contemporary buildings** set within a network of publicly accessible connections. Buildings are sited and designed to respond to each of the street interfaces, creating high quality, human scaled streetscapes. Building massing is carefully located to **maintain the prominence of the Bryant and May building** as viewed from Chestnut Street.

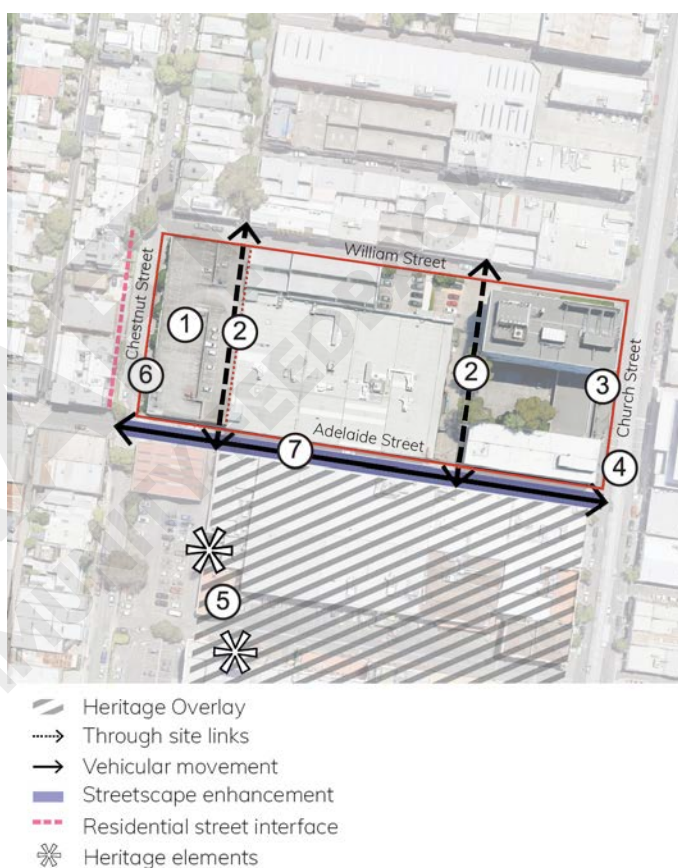


Figure 55 - 534 Church Street design objectives

Birrarung Precinct

Birrarung Precinct is located along the Yarra River on either side of the railway corridor and the Cremorne Residential Precinct. It consists of four strategic sites

- Richmond Maltings
- 167 Cremorne Street
- Rosella Complex
- 658 Church Street.

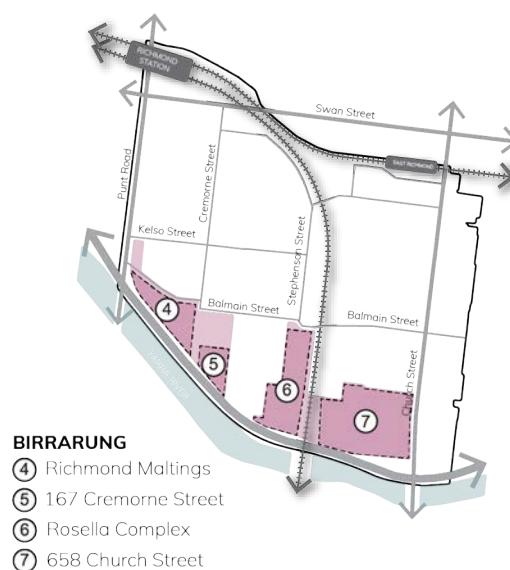


Figure 56 - Birrarung Precinct

Richmond Maltings (Strategic Site)

The Maltings site is bound by Gough Street to the north, Punt Road to the west, Harcourt Parade and CityLink to the south, and Cremorne Street to the east. The large site is made up of several allotments, totalling nearly 10,000sqm. The Richmond Maltings was established in 1852 and has been continuously associated with the brewing and malting industry. The 1880 four-storey pneumatic malthouse and silos remain on the site. Many of these buildings and the Nylex Sign are of State heritage significance. The iconic Nylex Sign, a Municipal Landmark was erected on the silos in 1961. The primary viewing location is from the centre of Morell Bridge (within the City of Melbourne), with other views from CityLink.

The site comprises of buildings ranging from 2-4 storeys, the 9-storey MYOB building and two residential apartment towers, with a mix of shops, a supermarket and offices. The central and north-western part of the site not yet been developed. It has a permit for a hotel and various commercial buildings including office and a mix of retail, function spaces, cafes and restaurants.

Vision

The Richmond Maltings will be a **hub of activity and employment**. The mix of residential, commercial and retail uses will activate the precinct throughout the day and evening. **Surrounding streets are activated and enhanced** through expanded footpaths, street tree planting, active ground floor uses and generous entry forecourts and spaces.

The site will provide a series of vibrant plazas and laneways that integrate the site into the surrounds and draw people into the precinct. The design of links and spaces will **reference and celebrate the site's rich industrial past**.

Significant heritage buildings and structures will be showcased and enhanced. With new buildings sited and designed to respect existing buildings and retain **the prominence and landmark qualities of the Nylex sign and associated silos**.

Buildings range in height, **responding to the low scale residential precinct to the north and the Yarra River environs to the south**, avoiding additional overshadowing.

Design objectives

1. A diversity of land uses will be provided that activates the site and supports the broader Cremorne Enterprise Precinct and surrounds.
2. The site is integrated with its surrounds, providing a series of links and spaces that improve accessibility and connectivity through the site, and connect to the Main Yarra Trail. Through site links and the enhanced crossing of Harcourt Parade provides access to the Main Yarra Trail and river.
3. Development will respect the amenity of lower scale residential areas to the north.
4. Surrounding streets will be enhanced through footpath widening, street tree planting and design of the ground floor premises which will activate the frontage.
5. Vehicular access and servicing will be consolidated to minimise the impact on the surrounding streetscapes.
6. The visual prominence and views of the landmark Nylex sign and associated silos will be retained through the sensitive siting and design of new buildings.
7. Significant heritage buildings and structures will be reused and sensitively redeveloped to retain the integrity of the building and a sense of history.
8. Development will complement and enhance the Yarra River environs through the design quality and materiality of buildings along the southern interface.

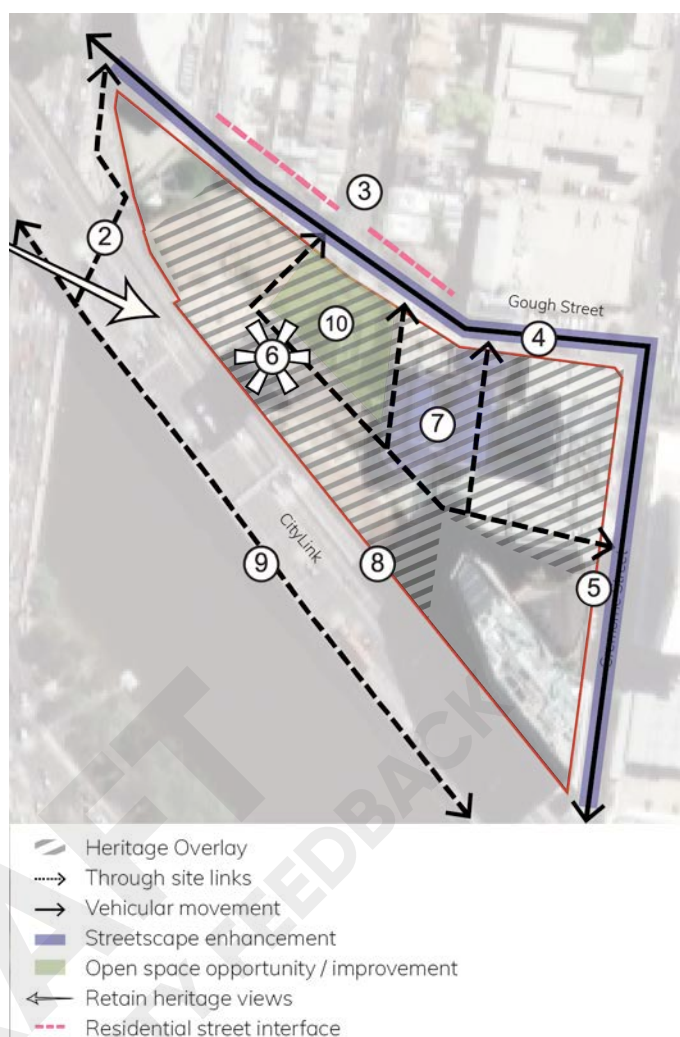


Figure 57 - Richmond Maltings design objectives

9. Development will seek to minimise additional overshadowing on the banks, water of the Yarra River and adjacent public open space, pedestrian and bicycle paths (noting Design and Development Overlay – Schedule 1 Yarra (Birrarung) River Corridor does not apply).
10. A new small local open space will be integrated into the development.

167 Cremorne Street (Strategic Site)

A large island site with three street interfaces; Dover Street to the east, Bent Street to the north and Cremorne Street to the west. Harcourt Parade and CityLink forms the southern interface of the site. The southern facade of the existing building is highly visible from the Main Yarra Trail on the southern side of the Yarra River. The eastern interface along Dover Street is predominantly fine-grain residential dwellings with landscaped setbacks.



Image 77 - Bent Street existing warehouse



Image 78 - Harcourt Parade (CityLink) interface

Vision

167 Cremorne Street is a **collection of diverse buildings** sited and designed to respond to the varied conditions to the north, east, south and west.

Buildings range in height and **decrease in height to the east** to respond to the low-scale context of Dover Street. The landscape character of Dover Street is enhanced through the provision of a **landscaped ground floor setback**. Buildings on the southern portion of the site are designed to enhance the setting of the river corridor.

New pedestrian links improve connectivity through the site and break up the building mass. **Cremorne Street and Bent Street are activated and enhanced** through expanded footpaths, street tree planting, active ground floor uses and generous entry forecourts and spaces. **A new small local open space** is sited to the north-east, with two street frontages.

Design objectives

1. A diversity of forms, typologies, building and street wall heights, and varied architecture will be developed across the site, responding to each of the unique interfaces. Buildings range in height with the highest scale to the north-west and the lowest scale at Dover Street.
2. A landscape setback, lower-scale, fine-grain edge is provided at the Dover Street interface that responds to the low-scale residential context and the heritage precinct (H0342).
3. A new small local open space is delivered on the north-east corner of the site to serve residents and the broader community. The space is designed to have a public interface and provide passive surveillance of neighbouring streets.
4. New publicly accessible laneways are delivered through the site to improve connectivity to surrounding streets and new open space.
5. Cremorne Street and Bent Street form the primary frontages of the site and are designed with active interfaces at the ground floor and lower levels. Buildings are set back to provide extended footpaths, entrances and pedestrian plazas.
6. Buildings on the southern portion of the site are designed to respond to the freeway environment. The design should enhance the setting of the river corridor and contribute to a positive image of Cremorne.
7. Additional overshadowing of the banks, water of the Yarra River and adjacent public open space, pedestrian and bicycle paths is avoided (in line with Design and Development Overlay – Schedule 1 Yarra (Birrarung) River Corridor).



Rosella Complex (Strategic Site)

The Rosella site is a business park-style development directly adjacent to the railway line. The site is made up of a number of lots and is bound by Balmain Street, Gwynne Street and residential properties to the west and CityLink to the south. There are a number of contributory heritage buildings interspersed with non-heritage buildings on the site. The original factory buildings were established on the site on 1905 and were operating until the 1980s. A large allotment to the south directly interfaces the freeway. Palmer Parade, a private road loops around to connect with Gwynne and Munro Streets.

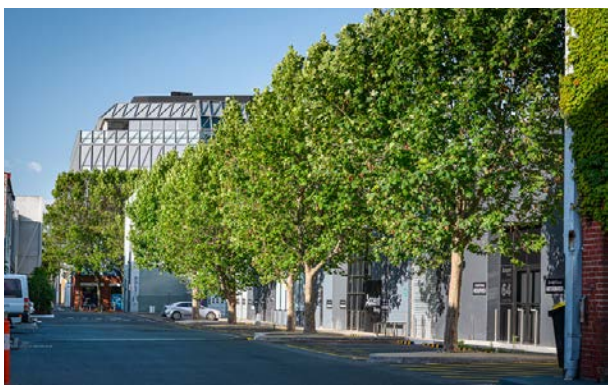


Image 79 - Palmer Parade



Image 80 - Rosella signage - Balmain Street

Vision

The Rosella Complex is **an exemplary collection of industrial buildings** in a contemporary commercial setting. The buildings fronting Balmain Street, Palmer Parade and the railway line with their **distinctive Rosella signs are showcased**. Additions to heritage buildings allow key heritage features to be retained and remain prominent.

A legible street network and a new publicly accessible open space welcomes people into the site. **High quality facades to the railway and river corridor** create a positive image of Cremorne. New infill buildings provide visual interest at the ground level and use forms and materials that are complementary to the heritage context.

Design objectives

1. Buildings range in height with the highest scale of buildings to the railway corridor. Buildings will be lower fronting the residential areas west of the site on Gwynne and Munro Streets and to the rear of properties on Cubitt Street.
2. New public space is delivered within the complex that provides space to meet and relax.
3. Contemporary infill buildings compliment and are respectful in scale to contributory heritage buildings. Additions to existing heritage buildings are set back to allow heritage features and Rosella signage to remain prominent.
4. The legibility and quality of the internal street network is improved. Palmer Parade is redesigned to prioritise pedestrians and cyclists.
5. A new through site link connects Palmer Parade to Cubitt Street, providing improved access to Charles Evans Reserve.
6. At grade parking is consolidated and the impact of vehicular access entrances and ramps on the public realm minimised.
7. Buildings that interface the railway and river corridors are designed to respond to these interfaces and contribute to a positive image of Cremorne.
8. Additional overshadowing of the banks, water of the Yarra River and adjacent public open space, pedestrian and bicycle paths is avoided (in line with Design and Development Overlay – Schedule 1 Yarra (Birrarung) River Corridor).

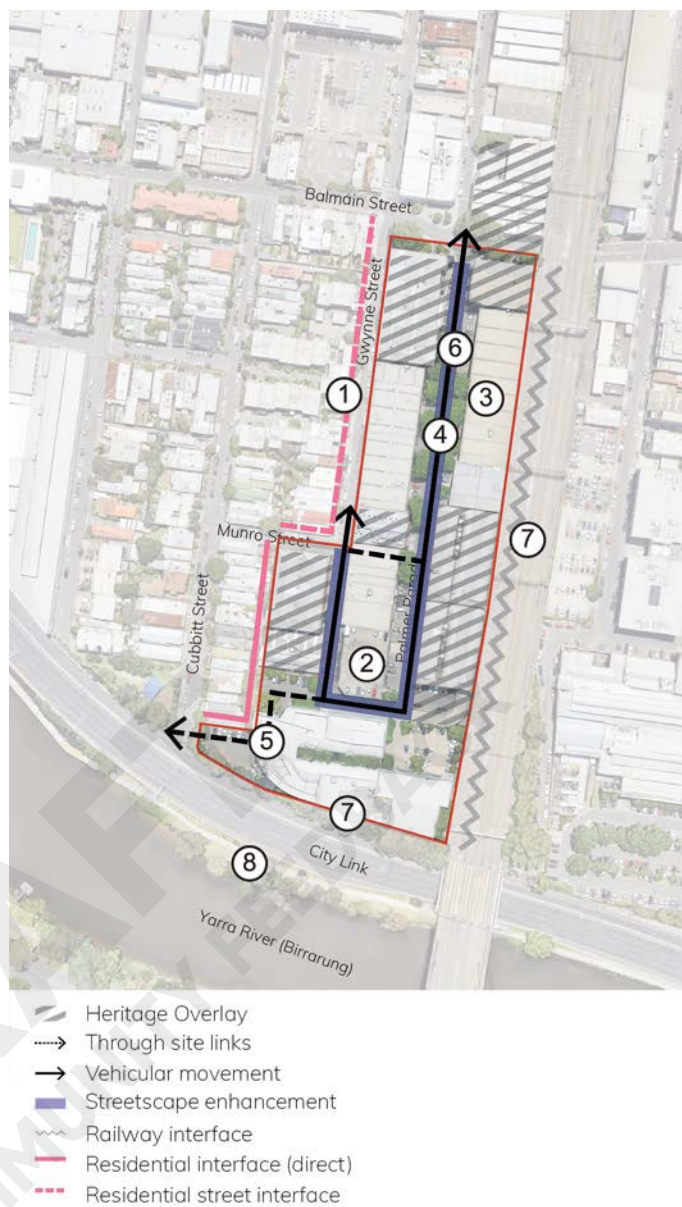


Figure 59 - Rosella Complex design objectives

658 Church Street (Strategic Site)

658 Church Street is a business park style office precinct which sits alongside the railway line to the west and the freeway to the south. The site is zoned Commercial 2 and includes fashion, retail, creative and tech businesses and headquarters such as Tesla, Disney, and Hardie Grant.

The site includes the former Richmond Power Station – a prominent heritage building of State significance. Other buildings within the site are of a mixed scale and character. The buildings within 658 Church Street are located in a landscaped setting with significant tree coverage along most of the internal streets and within the carparks. There is a central linear open space along the primary internal street (Dale Street Reserve).



Image 81 - Electric Street Reserve

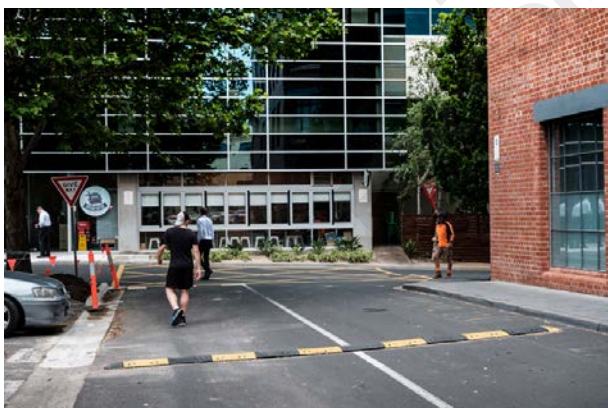


Image 82 - Dale Street - private road

Vision

658 Church Street is a collection of **contemporary office buildings within a landscape setting**. The street network is legible, pedestrian friendly and well-connected to the surrounding streets. Carparking is consolidated to allow the **extensive public space network to be expanded**. Public spaces are sunny and comfortable places for people to meet and relax.

The Former Richmond Power Station is celebrated and streetscape views to prominent facades are enhanced.



Image 83 - Church Street cafe activity

Design objectives

1. Buildings range in height with the highest scale buildings to the north of the site transitioning down to a lower scale to the south of the site.
2. The legibility of the street network is improved and streets are redesigned to prioritise pedestrians. Car parking is consolidated within the site to reduce negative impacts on the public realm and facilitate opportunities for an expanded public space network.
3. New publicly accessible open spaces are delivered that expand on the existing quality of spaces. Buildings are set within the landscape and mature trees are retained and integrated where possible.
4. The public realm is upgraded to enhance the setting of The Richmond Power Station. Building massing is carefully located to ensure that the building remains prominent when viewed from Green Street and Dale Street.
5. A well-designed street wall creates a human-scale and active interface to Church Street. The Church Street interface is the primary interface and incorporates landscape, inset building entrances and integrated seating.
6. Overshadowing to Church Street (eastern footpath), and public space within the site is avoided.
7. Additional overshadowing of the banks, water of the Yarra River and adjacent public open space, pedestrian and bicycle paths is avoided (in line with Design and Development Overlay – Schedule 1 Yarra (Birraring) River Corridor).
8. Buildings that interface the river corridor are designed to enhance the landscape setting and contribute to a positive image of Cremorne.
9. Heritage buildings will be reused or sensitively redeveloped to retain the integrity of the building and a sense of history. (NOTE - Council and landowners would need to engage with Heritage Victoria on the power station which is on the Victorian Heritage Register.)

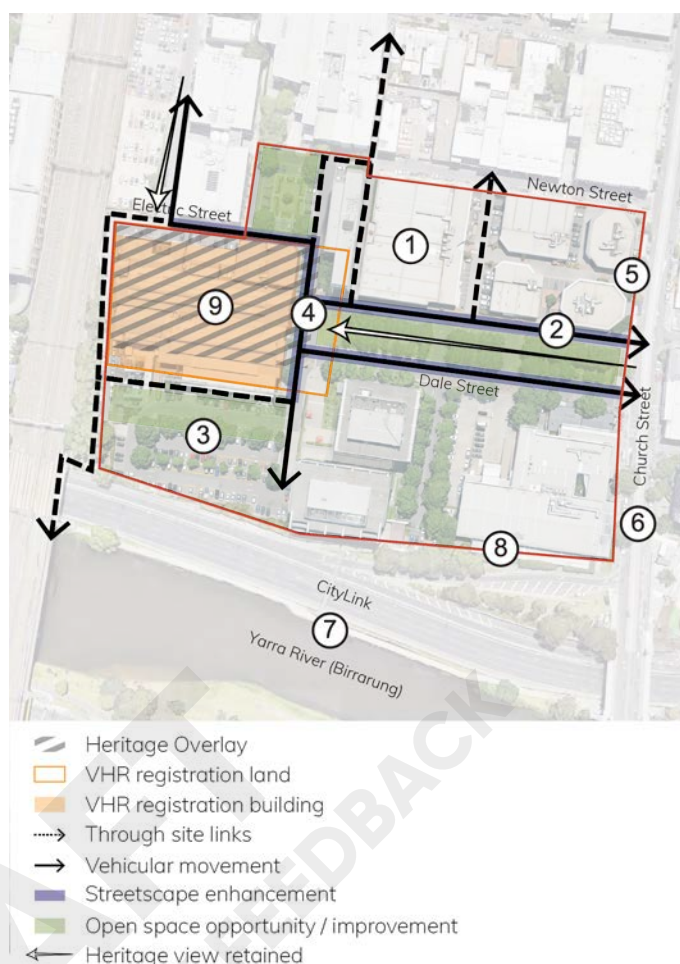


Figure 60 - 658 Church Street design objectives

DRAFT
FOR COMMUNITY FEEDBACK

Part Four: Delivery

This section provides an overview of the next steps required to implement the Framework.

Part Four: Delivering the Framework

The Draft Urban Design Framework sets out a vision and framework to guide Cremorne's growth and to ensure it develops as an accessible, well-connected and high-amenity place. It outlines public open space, public realm and infrastructure improvements required to meet the future needs of the Cremorne community. Council will seek to work in partnership with State Government departments and agencies, landowners, businesses and the wider community to implement the UDF

The following Implementation Framework provides an outline of how the vision and objectives will be delivered. A detailed implementation plan will be prepared following the finalisation of the UDF identifying responsibilities and approximate timing of actions.

Infrastructure Planning

Providing for the timely and coordinated funding and delivery of public open space, streetscape improvements and new walking and cycling linkages to meet the needs of businesses, workers, visitors and residents is crucial to realise the vision for Cremorne. A range of funding and delivery mechanisms are needed to enable the delivery of the infrastructure required to support precinct development. These include:

- Capital works projects delivered by or on behalf of the Yarra City Council.
- Works funded by the Victorian State Government
- Open Space Contributions
- Development Contributions
- Developer works: infrastructure and works which have a direct connection to development and are fully funded by the developer as part of the redevelopment of the land.

Open Space Contributions

Current and future demand for open space is considerable in Cremorne due to the high level of employment growth, density of commercial development and lack of open space.

Yarra currently has a mandatory public open space contribution rate of 4.5 per cent through a schedule to Clause 53.01 of the Yarra Planning Scheme. However, the rate is only applicable to residential subdivisions. Surveys undertaken as part of the development of the Yarra Open Space Strategy found that more than 80 per cent of workers visit public open space during the day.

Yarra is currently undertaking an amendment to the Planning Scheme to increase the contribution rate and apply it to commercial and industrial land subdivisions. This amendment is needed to fund new and improved open space for both residents and workers in Cremorne.

Development Contributions

To support the funding and delivery of key infrastructure items, a Development Contributions Plan Overlay has been introduced to the Yarra Planning Scheme. The development contributions plan will ensure that the cost of providing new infrastructure to meet the demands of the new population, is shared equitably between developers and the wider community.

Yarra requires a payment towards the provision of infrastructure when a site is developed, as prescribed in the Development Contributions Plan (DCP). While the boundary of the DCP Charge Area 11 aligns with the study area of this UDF, the current DCP does not include the infrastructure projects listed in this UDF. To help deliver the relevant actions in this UDF (that are not identified in the current DCP), Yarra will need to investigate several options to update and/or modify the current DCP for Charge Area 11.

Capital Works Program

Yarra City Council's Annual Plan alongside each year's budget, sets out specific projects and activities that will be undertaken over the year that work towards the strategic objectives in the Council Plan. The UDF once finalised would inform Council's Capital Works Program.

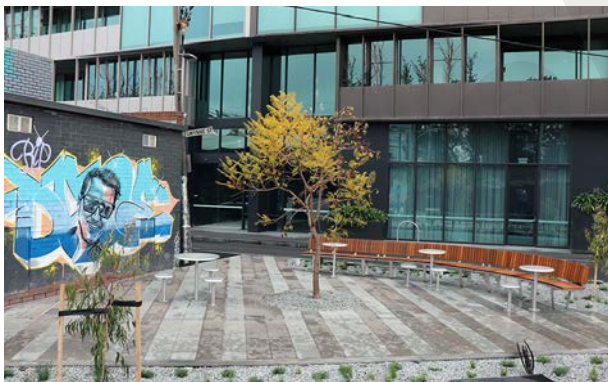


Image 84 - Recent capital works upgrades - Gwynne St

Partnerships

Implementation of the UDF will require Council to work in partnership with a wide range of stakeholders including:

- Department of Jobs, Precincts and Regions, Bendigo Kangan Institute, Cremorne Digital Hub consortium, landowners and businesses on economic development.
- Department of Transport, VicTrack, Parks Victoria, City of Melbourne and landowners on walking, cycling and public transport and open space provision.



Image 85 - Advocacy for major transport upgrades

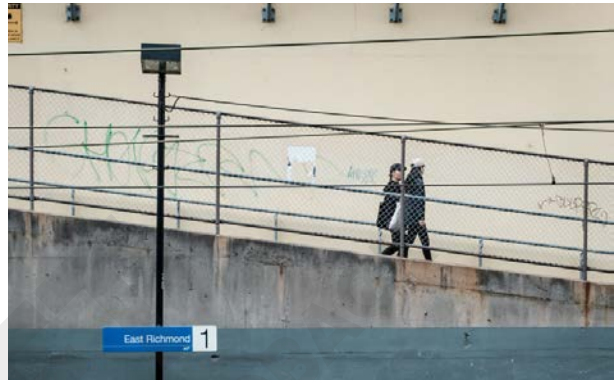


Image 86 - Advocacy for major transport upgrades

Advocacy

Many of the outcomes in the draft UDF will require Council to advocate and work with other levels of government for things that are outside Council's jurisdiction. For example, the State Government is responsible for the arterial road network and public transport services and infrastructure.

On 23 June 2022, Council adopted Yarra's Victorian Election Advocacy Priorities which outlines 32 different policy reforms, projects and initiatives across seven action-orientated themes. One of the key actions is 'Supporting growth and liveability in Cremorne'.

The Advocacy Statement acknowledges that 'To achieve this, Council is seeking to partner with the Victorian Government, local business and stakeholders to deliver improvements to the streetscape and infrastructure within the precinct and make Cremorne a place where everyone is welcome and where people love to work, live and visit.'

Grants and Funding Bids

Council actively seeks to source external grants and financial contributions from State, Federal and other Government agencies. Council will work with other levels of government for funding support to deliver infrastructure and service outcomes for the community.

Planning Scheme Implementation

One of the most important elements in implementing the UDF is updating the planning controls for Cremorne. Changes to the planning controls would require a Planning Scheme Amendment. This is a statutory process which would introduce the proposed changes. This process would occur following community consultation and the finalisation of the UDF.

Following finalisation of the UDF, Council would request the Minister for Planning allow Council to prepare and exhibit new planning controls for Cremorne. The planning scheme amendment would then be public exhibited via a statutory process. This will provide an additional opportunity for the community to have its say on the planning proposed provisions.

Changes to the Planning Scheme include:

- Updated policy which addresses recognises and supports Cremorne as an enterprise precinct and includes place specific policy on economic activity, built form and heritage, access and movement and public realm
- New built form provisions via a Design and Development Overlay
- A Parking Overlay reducing parking rates for office developments and retail premises in Cremorne.

DRAFT
FOR COMMUNITY FEEDBACK

Glossary

Glossary

City of Yarra (CoY)

The role of a Council is to provide good governance in its municipal district for the benefit and wellbeing of the municipal community and is defined by the Local Government Act 2020 section 8(1). Yarra City Council functions and services include: maternal and child health, libraries, childcare, waste collection and recycling; infrastructure provision, streetscape improvements and maintenance; regulation and enforcement (e.g. local laws, permits); advocacy; and community and economic development. It is also the planning authority for the precinct, responsible for facilitating amendments to the Yarra Planning Scheme and for issuing planning permits.

Victorian Planning Authority (VPA)

The Victorian Planning Authority (VPA) is a State Government statutory authority that reports to the Minister for Planning. It prepared the Cremorne Place Implementation Plan in partnership with Council.

Department of Jobs, Precincts and Regions (DJPR)

The State Government agency responsible for ensuring Victoria's strong economic performance by growing industries and regions. DJPR is managing and coordinating the implementation of the Cremorne Place Implementation Plan.

Department of Environment, Land, Water and Planning (DEWLP)

The State Government department that is responsible for managing, regulating, consulting and/or advising in relation to public land, water, energy and environmental resources and planning and local infrastructure.

Department of Transport (DoT)

The State Government department that is focused on building and operating an integrated, sustainable, and safe transport system for Victoria.

VicTrack

The State Government agency that owns, protects and grows Victoria's rail transport land, assets and infrastructure.

Active transport: refers to walking, cycling and scooting, as well as wheeling and other environmentally friendly travel methods of people with a disability.

Affordable workspaces: spaces that are financially accessible to creative and tech enterprises with limited access to initial and ongoing capital and revenue.

Activity Centre: vibrant community hubs where people shop, work, meet, relax and often live. Areas that provide a focus for services, employment, housing, transport and social interaction. They range in size and intensity, and include Yarra's retail streets and commercial areas.

Creative industries: disciplines that use 'creative' processes and/or ideas to create value for customers. Include activities that are both commercially driven and community-based, experimental, and export-intense.

Design and Development Overlay (DDO): planning tool that is applied to areas that need specific requirements relating to the built form and design of new development. It sets requirements for the height, form, and general design of buildings. Terms frequently used in a DDO include:

Built Form: function, shape and configuration of buildings and their relationship to streets and open spaces.

Setback: distance a building is required to be constructed from a boundary or upper levels.

Street wall: front portion of a building – usually on the street.

Upper level: development above the height of the street wall.

Development contributions: payments or works-in-kind towards the provision of infrastructure made by the proponent of new development.

Enterprise Precinct: are dense, accessible, and amenity rich urban areas that provide fertile ground for business formation and idea development and innovation. These include high business densities with a diverse range of industries. Their size and diversity allow for agglomeration benefits, where knowledge and service sharing occurs. These benefits provide these areas with a competitive advantage where they are able to evolve with a changing economy.

Green Factor Tool: is a new tool used to assess planning permit applications, developed by the City of Melbourne and currently being trialled within the City of Yarra. The tool is designed to assist applicants in developing their green roofs or walls proposals and to assess and facilitate proposals at the planning permit stage. The purpose of the tool is to increase the vegetation cover on private land. The tool has been designed to consider a range of building types. It will integrate with Council's sustainable development tool (BESS) which is used during the permit application process.

Heritage Overlay: planning tool used to protect places of heritage significance to the city. Within the Heritage Overlay there are three gradings:

Significant Places: of state, municipal or local cultural heritage significance. They may be both individually significant and significant in the context of the heritage precinct.

Contributory Places: that contribute to the cultural heritage significance of a precinct and have been given this status in a heritage study. They are not considered to be individually important places, however, when combined with other significant and/or contributory heritage places, they play an integral role in demonstrating the cultural heritage significance of a precinct.

Not-contributory Places: within a heritage precinct that have no identifiable cultural heritage significance. They are included within a Heritage Overlay because any development may impact the cultural heritage significance of the precinct or adjacent heritage places.

Major Employment Precincts: there are two in Yarra - Cremorne and Church Street, Richmond and Gipps Street, Collingwood. They host a diversity of traditional industrial uses, commercial offices and creative industries.

Public open space: includes all publicly owned land that is set aside primarily for outdoor recreation, passive outdoor enjoyment and nature conservation and is open to the sky. It includes public parks, gardens, reserves, waterways and squares. It is generally zoned for public park, recreation or conservation purposes when held in public ownership.

Public open space contributions: contribution collected at the time of a subdivision as a percentage rate on the value of undeveloped land. The contribution can be taken as land area or the equivalent value in cash, at the discretion of the Council.

Public realm: includes streets, squares, parks, green spaces and other outdoor spaces.

Principal bicycle Network (PBN): network of existing and proposed cycle routes identified to help people ride to major destinations around metropolitan Melbourne.

Scramble crossing: a signalised pedestrian crossing that allows crossing all at once of all legs of an intersection, as well as in a diagonal direction.

Shared zone: a street designated as a 'shared zone' under the Victorian road rules is a street where road vehicles must give way to people walking, wheeling and cycling. Usually installed with low speed limits, most commonly 10km/h.

Strategic Cycling Corridors (SCC): are the main routes of the bicycle network, similar to how arterials are the main routes of the road network. They identify the most important routes for cycling for transport that connect to key destinations of metropolitan and regional significance, including key employment areas, activity centres and railway stations.

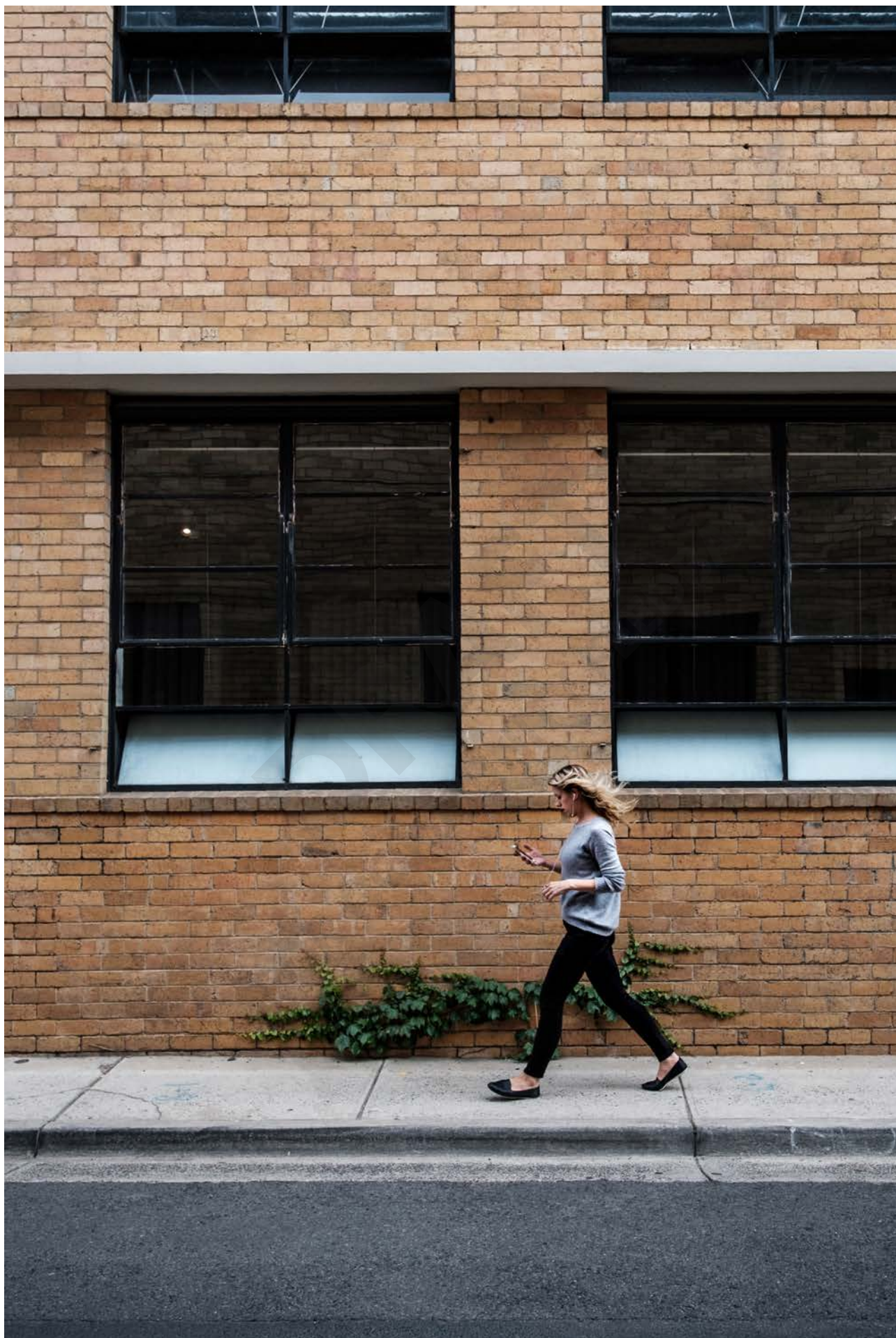
Strategic sites: large, often former industrial sites, that have been identified for redevelopment.

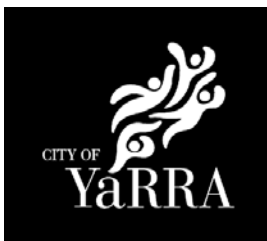
Urban Heat Island Effect (UHI): urban area that is significantly warmer than its surrounding areas. This increased warmth is due to heat being retained by roads, buildings, footpaths made of concrete and asphalt, and waste heat created by cars, industry and people.

Victorian Heritage Register (VHR): lists and provides legal protection for heritage places and objects that are significant to the history and development of Victoria.

Water sensitive urban design (WSUD): design of buildings and streets to minimise the impact of development on the surrounding environment and waterways. WSUD involves treating and reducing stormwater flows, increasing soil moisture, urban greening and providing an alternative water source.

Yarra Planning Scheme: legal document, approved by the Minister for Planning, that contains policies and provisions that control land use and development within the municipality.





Yarra City Council

PO Box 168, Richmond, VIC 3121
9205 5555
info@yarracity.vic.gov.au
yarracity.vic.gov.au

Customer service centres

Richmond Town Hall
333 Bridge Road, Richmond

Collingwood Town Hall
140 Hoddle Street, Abbotsford

Connie Benn Centre
160 Brunswick Street, Fitzroy

Bargoonga Nganjin, North Fitzroy Library
182 St Georges Road, Fitzroy North